



PLANNING BOARD

DOVER, MASSACHUSETTS

To: Dover Planning Board
From: Courtney Starling, Land Use Director
Date: May 5, 2021
Subject: **Site Plan Review to construct a pool and pool house in the rear yard**
Location: 25 Haven Street

Map: 5	Lot Area: 7.72 Acres
Block: 176	Zoning District: R1
Lot: 0	Use: Single-Family Home

Project Narrative

The applicants, Daniel and Justine O'Connell, are proposing to construct a pool and cabana in the rear yard of the property. The lot, which is an odd-shaped "flag-lot" with a narrow strip of frontage on Haven Street, has an access driveway to the buildable area in the rear of the lot. The proposed pool will be located in the center of the property adjacent to the existing single-family home. The proposed pool will measure 15' x 30'. Adjacent to the pool, the applicant is proposing to construct a 750 s.f., 25' x 30' single-story pool house. The pool house will consist of a bathroom, den with fireplace accompanied by a sink and counter. The pool house will be clad in standing seam aluminum with a stone fireplace.

Findings

Preliminary Site Plan Review Required

- 185-10: Table of Uses
- 185-36: Site Plan Review

Site Plan Review Criteria

- Compliance with the requirements for lot size, frontage, lot coverage of buildings, height, parking and loading spaces, yards, and all other provisions of this Chapter;
The application complies with these requirements.
- The location of driveway openings in relation to street traffic, and the convenience and safety of pedestrian, bicycle, and vehicular traffic to, from, and on the site;
The existing driveway opening is not affected by the project. The pool and pool house are located to the rear of the existing home and there are associated no pedestrian, bicycle, or vehicular traffic issues with this proposal.
- The adequacy of arrangement and number of parking and loading spaces in relation to the proposed use of the premises;
The existing single-family home has excess parking to serve the principal and proposed accessory uses of the property.
- The arrangement and appearance of proposed new buildings, structures, colors and materials, or changes to the aspects of a site as defined in C(2) above;
The proposed pool house structure is designed and clad to match the architectural vernacular of the existing single family home.

- (d) Provisions to protect surrounding premises against detrimental impacts;
The pool and pool house are not visible to neighboring properties.
- (e) The relationship of structures, design aspects, and open spaces to the natural landscape, existing buildings, historic and architectural heritage, and other community assets;
The pool and pool house are out of view from public spaces. No historic or archeological resources are impacted.
- (f) Potential impacts on natural resources, including groundwater and open space;
The pool is being constructed away from the existing well and septic field within an open area of the site. No trees will be removed as part of the construction of the pool and pool house, wile new landscaping will be added.
- (g) Potential impacts on Town resources, including protective agencies, streets, and public spaces;
As an accessory use to an existing residence, the project has minimal impact on Town resources.
- (h) Harmony in architectural treatment and avoidance of incongruous or inappropriate character or architectural appearance and arrangement of buildings; and
The architectural treatment and arrangement of the pool and pool house are generally appropriate accessory structures to a residence. Although the pool house is fairly large in terms of square footage, it is not out of scale with the existing home.
- (i) Compliance with all other requirements of this Chapter.
The project complies with all other requirements of the Zoning Bylaw.

Site Photos

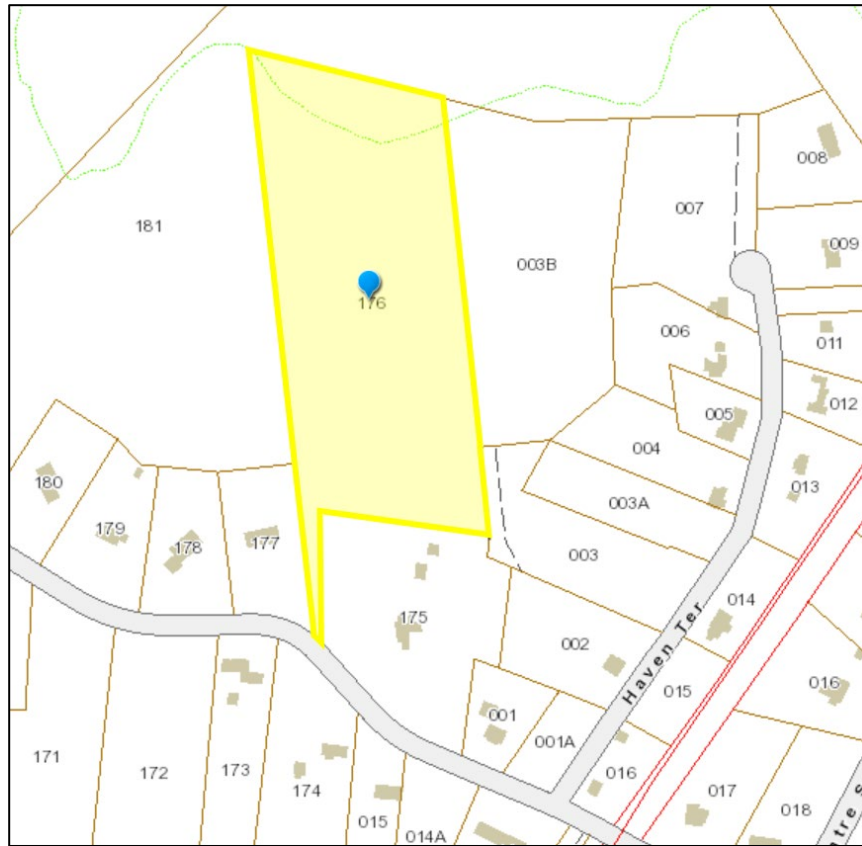


Recommendation

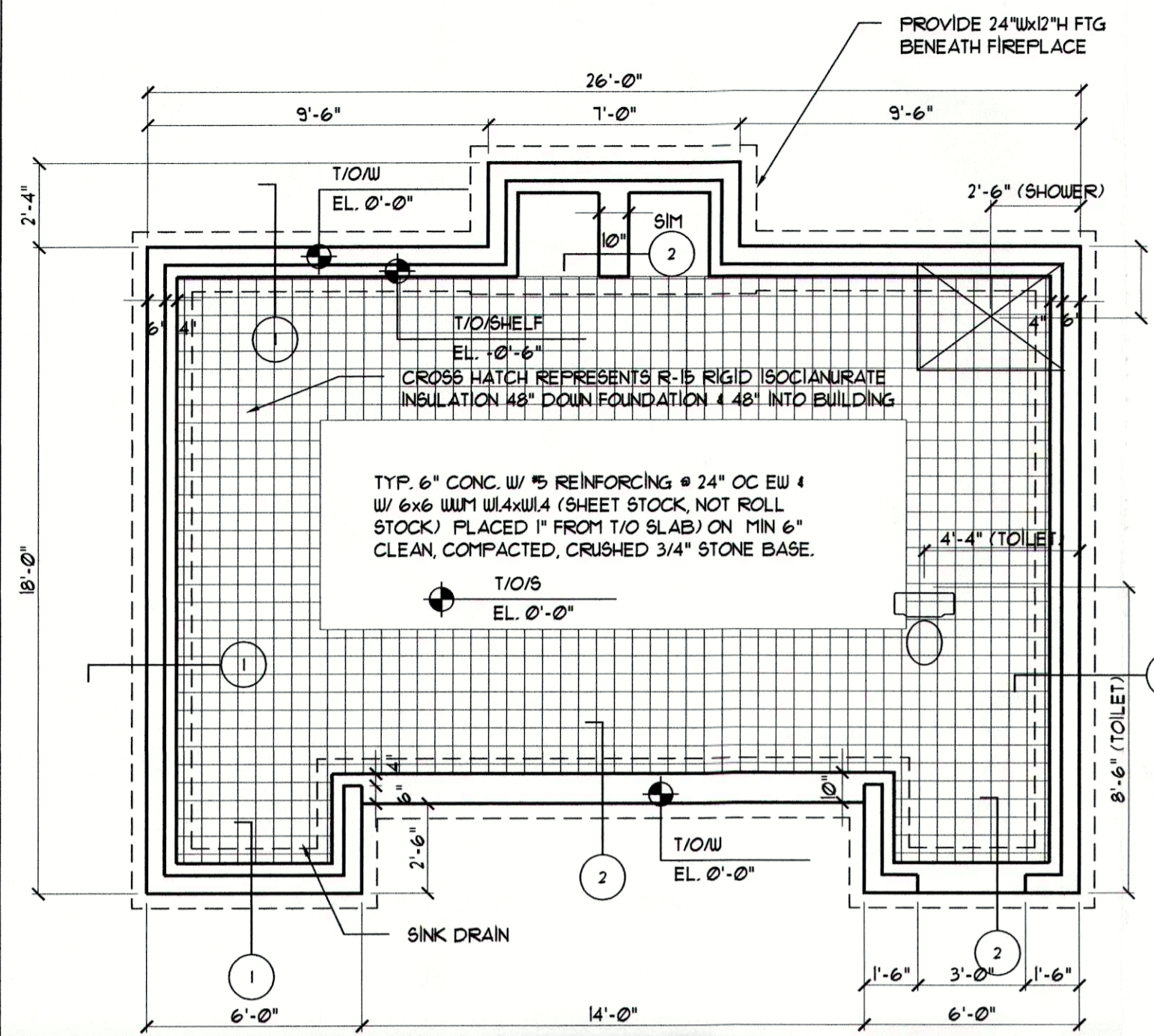
Approve the plans by Signature Design Architecture, stamped and signed by Henry Bobek, dated 1/18/21, and the site plan stamped and signed by Stephen Davis, dated 1/21/21, subject to the following conditions:

1. The pool house may not be used as an Accessory Apartment pursuant to Section 185-43 of the Zoning Bylaws.

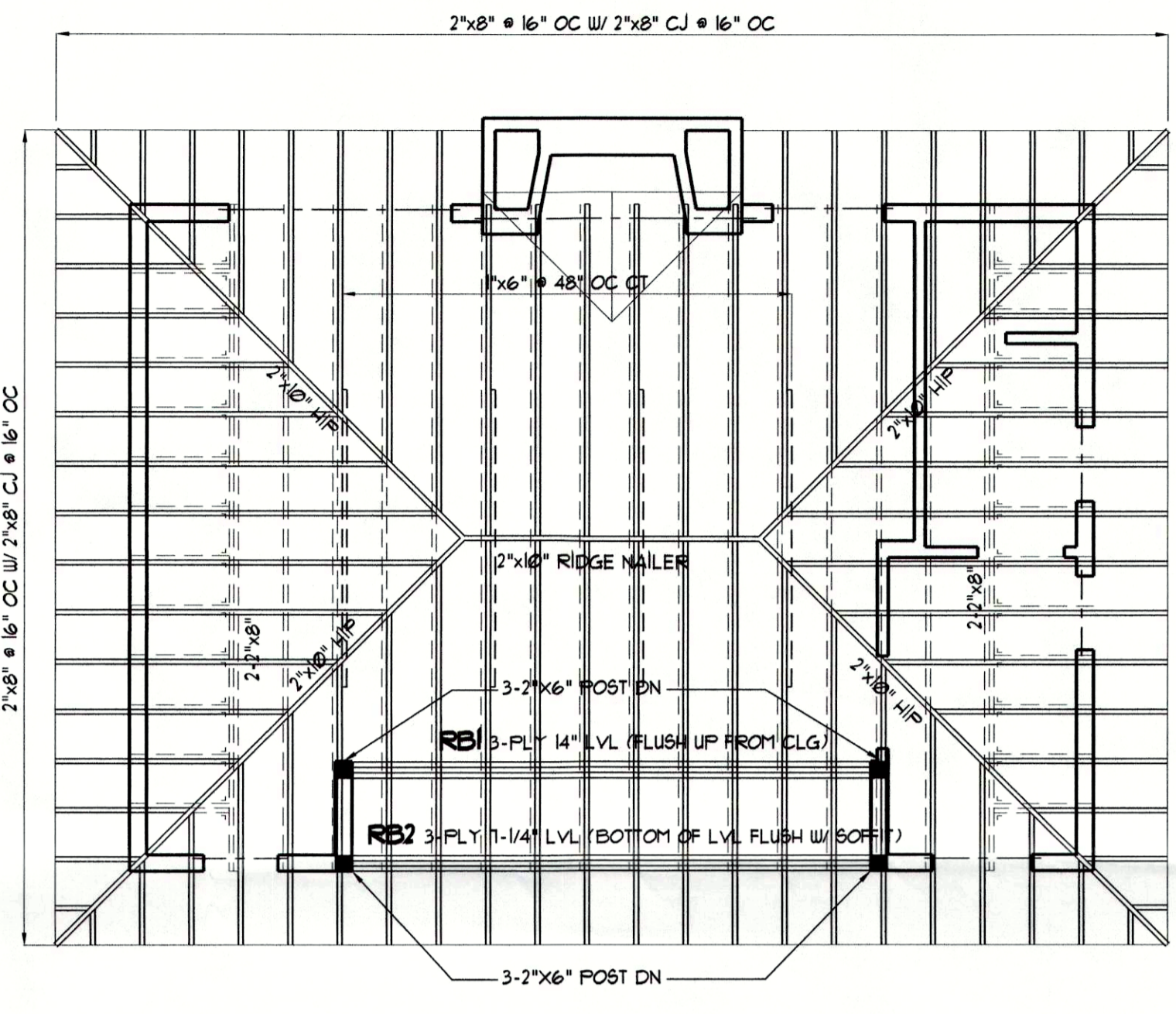
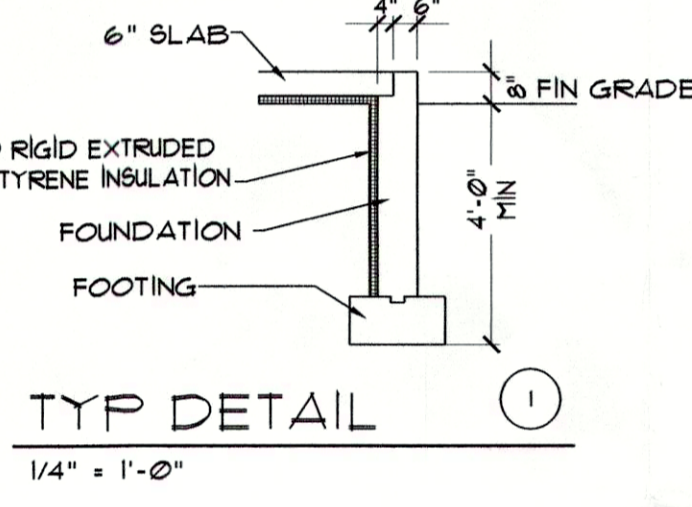
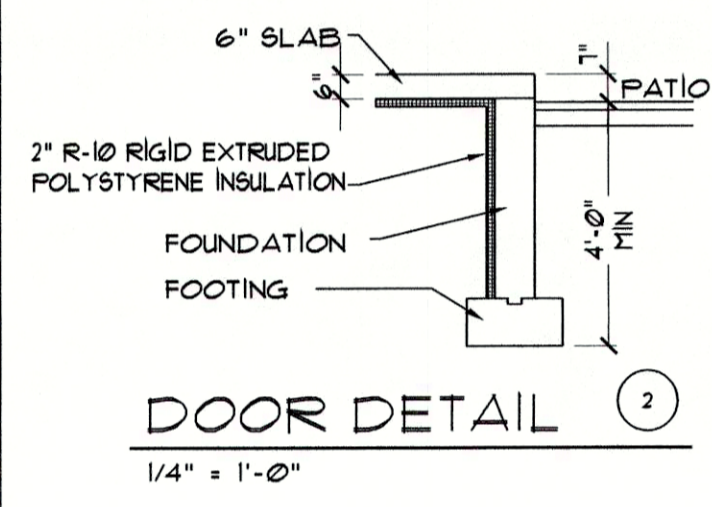
Assessor's Map



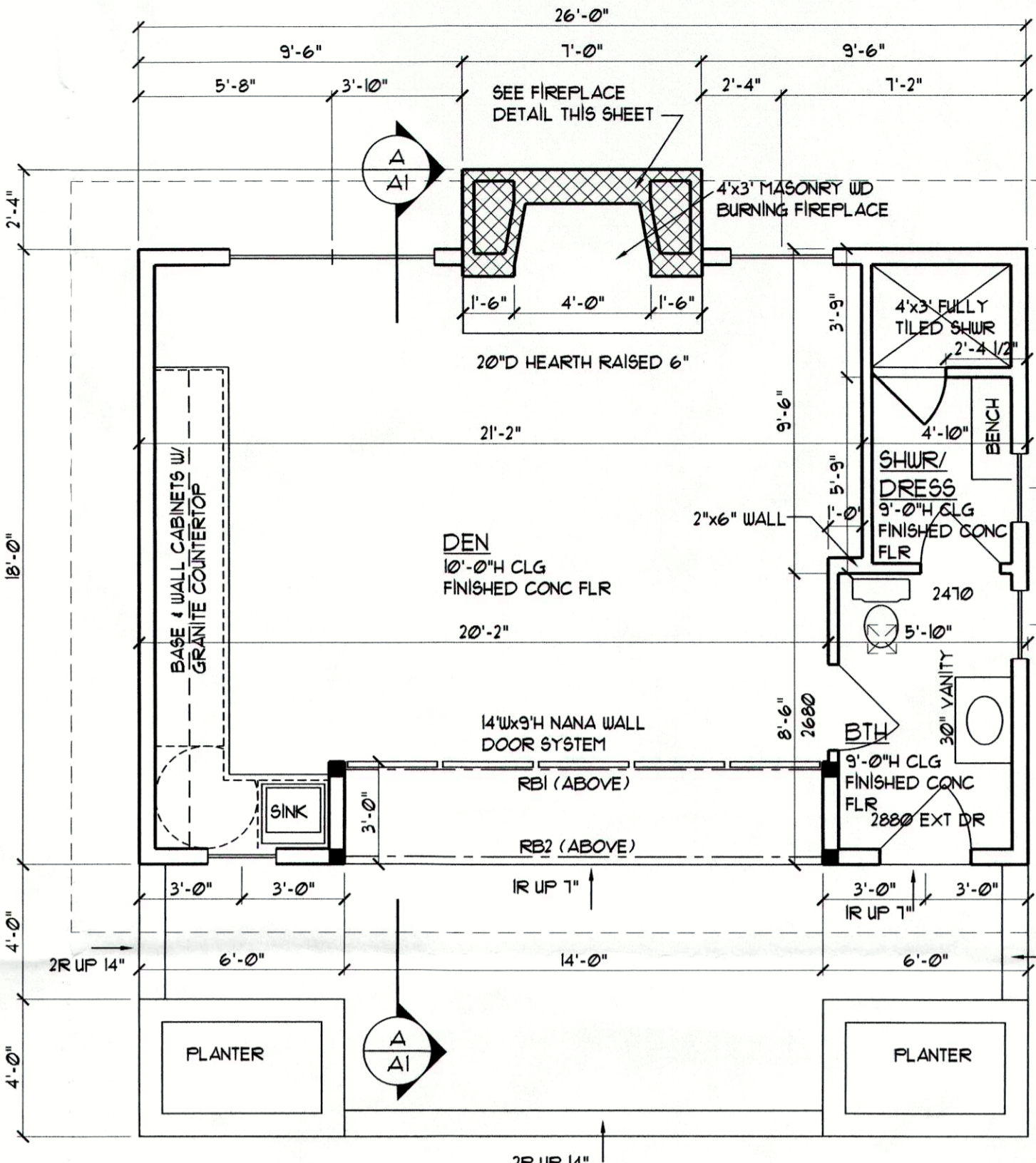
Attached: Site Plan & Architectural Drawings



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



UNHEATED POOLHOUSE FLOOR PLAN
SCALE: 1/4" = 1'-0"
(ASSUMES PLUMBING PIPING IS DRAINED FOR WINTERIZATION)

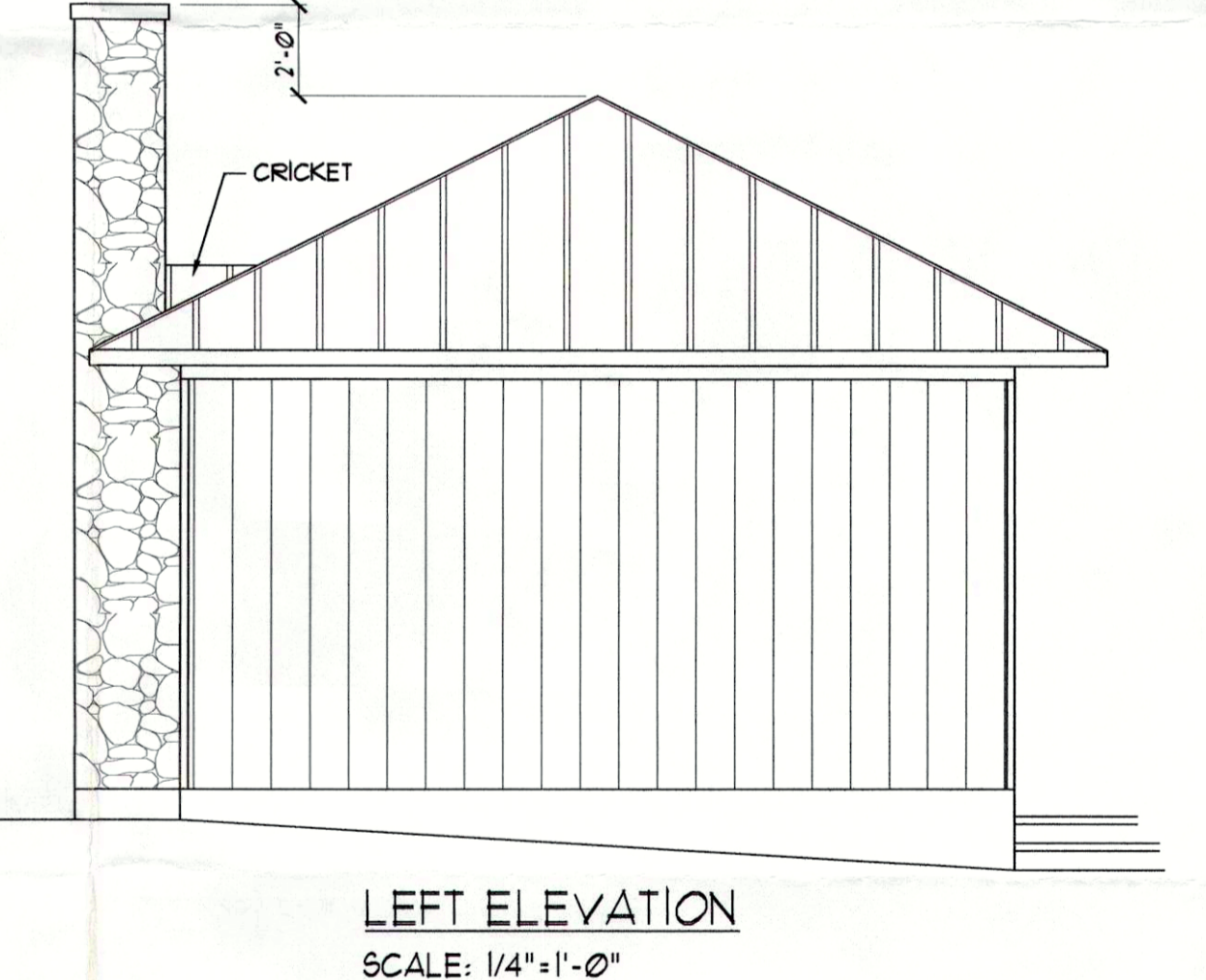
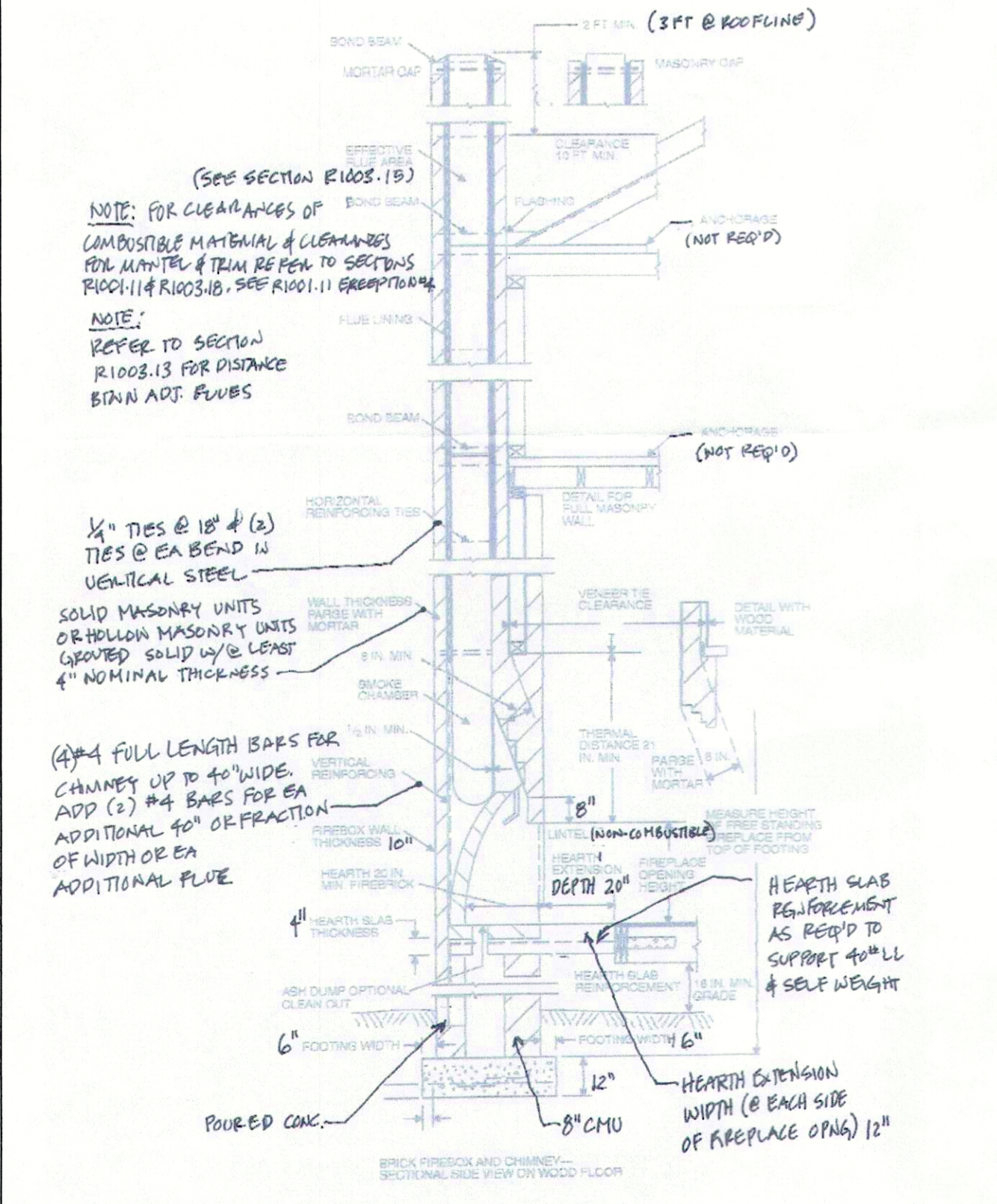
STRUCTURAL NOTES:
1. REASONABLE CARE HAS BEEN TAKEN IN THE PREPARATION OF THE STRUCTURAL DRAWINGS AND SPECIFICATION HOWEVER THE ENGINEER ARCHITECT DOES NOT GUARANTEE AGAINST HUMAN ERROR AND FOR THAT REASON IT IS IMPERATIVE THAT THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE SITE IN COORDINATION WITH THE DRAWINGS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING BEFORE PROCEEDINGS.

FRAMING NOTES:
1. THESE PLANS INDICATE BEAMS/HEADERS/POSTS THAT SUPPORT THE NEW CONSTRUCTION.
2. ALL FLOOR JOISTS & SLOPED ROOF RAFTERS ARE W/ SIZE & SPACING AS NOTED W/ 3/4", 5/8", 1/2" OR 1/4" FLUID (UNO). AS NOTED TYP. CJ ARE 2"x8" @ 16" OR 16" OC (UNO).
3. CHANGES IN CLG PLANE ARE INDICATED SHOWN ON FLOOR PLAN & BLDG SECTION.
4. NO SUBSTITUTIONS OF BEAM/JOIST/RAFTER SIZES CAN BE MADE WITH OUT ARCHITECT'S APPROVAL.
5. USE SFP 1/2" OR BETTER FOR KD STOCK & 1/2" SYP (W/ NONTOXIC PRESERVATIVE/TREATMENT) FOR PT STOCK.
6. ALL LVL'S SHALL BE MEMBER 2.05 MICROLAM LVL (OR STRONGER). NO NOTCHING TO LESS THAN THE DEPTH GIVEN IN PLAN. INSTALL IN STRICT COMPLIANCE W/ MANUFACTURER'S RECOMMENDATIONS.
7. USE 3-2"x8" (2"x6" WALL) SOLID HEADERS (W/ 1/2" FLUID UNO). NOTE THAT IF HEADER DOES NOT FIT FOR STATED RO HEAD HGT OF WINDOW CONTACT ARCHITECT FOR SUBSTITUTION.
8. PROVIDE FULL BEARING UNDER ALL PLYS OF LVL (MIN 2 JACK STUDS) 2R UP 14".
9. FOLLOW MIN 2 JACK STUDS FOR ALL HEADERS OVER OPENINGS 6'-0" OR GREATER.
10. TYP HANGER IS FACE MTD (UNO) FILL ALL HANGER NAIL HOLES WITH RECOMMENDED NAIL SIZE. GLUE ALL MEMBERS INTO HANGERS. NO SQUEAKS IN FLOOR.
11. PROVIDE SIMPSON HD5 HURRICANE CLIPS AT ALL RAFTERS/PLATE/BEARING CONNECTIONS.
12. ALL FASTENING OF FRAMING, PLATES, GILLS, SHEATHING AND OTHER WOOD REQUIREMENTS MEMBERS IN CONTACT WITH SOIL SHALL BE TREATED PER ALPFA C23/C24/C2A Q246 JOB SITE FABRICATION AND BORES SHALL BE TREATED IN ACCORDANCE WITH ALPFA STD. 14.
13. CONNECTORS SHOWN ARE AS MANUFACTURED BY SIMPSON STRONG-TIE CO. INC. SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT. INSTALLATION OF ALL CONNECTORS SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND MUST EMPLOY ALL REQUIRED FASTENERS.
14. ALL CONNECTORS SHALL BE HOT DIP GALVANIZED.
15. SPLIT WOOD IS NOT ACCEPTABLE FOR ANY CONNECTION.
16. ALL EXPOSED FRAMING MEMBERS SHALL BE TREATED PER ALPFA REQUIREMENTS MEMBERS IN CONTACT WITH SOIL SHALL BE TREATED PER ALPFA C23/C24/C2A Q246 JOB SITE FABRICATION AND BORES SHALL BE TREATED IN ACCORDANCE WITH ALPFA STD. 14.
17. ALL MANUFACTURED LVL WOOD FRAMING COMPONENTS SHALL HAVE THE FOLLOWING PHYSICAL PROPERTIES AS A MINIMUM:
E=2.8x10⁶ psi, Fb=2600, Fv=285.
18. ALL FLUID WALL SHEATHING EXTENDS TO TOP OF WALL PLATE & TO BOTTOM GILL ADJ TO FOUNDATION.
19. REFER TO 180 CHR SECTION R50(12) FOR DECK CONSTRUCTION AND ATTACHMENT.

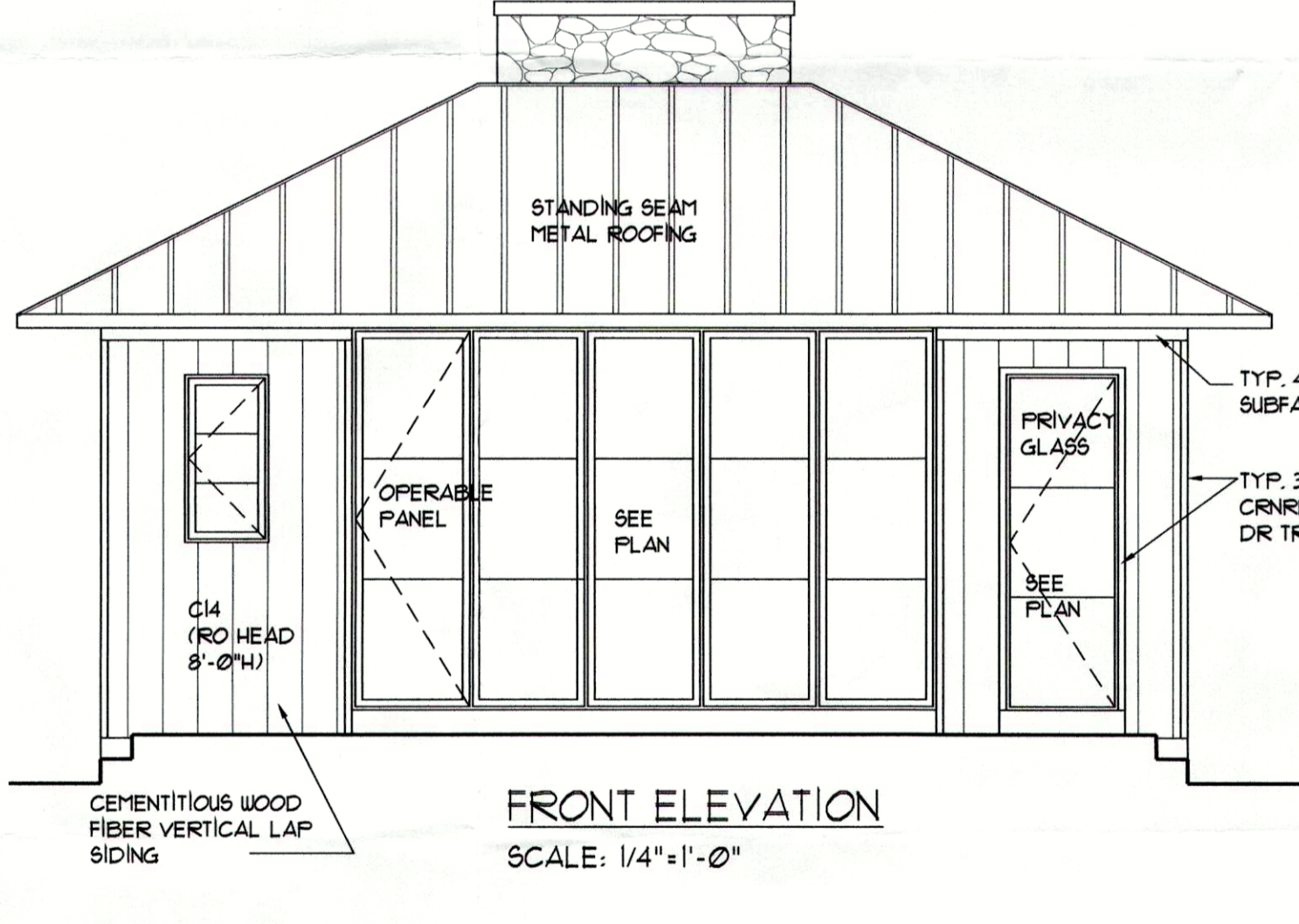
DRAWING LEGEND
--- NEW FULL HEIGHT W/ PARTITION
--- CENTERLINE OF BEAM ABOVE
--- OBJECT ABOVE - CHANGE IN CLG PLANE OR WALL CABINETS, (WHEN SHOWN ON "ROOF BELOW" REPRESENTS FACE OF STUD BENEATH EAVE)
--- OBJECT BENEATH SURFACE (LINE OF CABINETS BENEATH COUNTERTOP)
■ BWP IN WALL
□ WINDOW
□ BUILDING SECTION KEY DRAWING "AA", SHEET A-1
□ QUIET VENT/ FAN CLG UNIT

GENERAL NOTES:
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES, AMBIGUITIES, OR INCONSISTENCIES PRIOR TO PROCEEDING WITH THE WORK.
2. WINDOW SIZES SHOWN ARE BASED ON ANDERSEN 400 SERIES HIGH PERFORMANCE (U=30). PROVIDE VNTL CLAD WOOD WINDOW W/ PERMANENT GRILLE & SPACER BTWN GLASS - CONIFER TYPE I MANUFACTURER W/ GUAR.
WINDOWS MUST MEET THE FOLLOWING CRITERIA:
A) GLAZING CLOSER THAN 18" TO THE FLOOR, EXCEEDING 6X6 (6) SQUARE FEET IN AREA, IN A DOOR, OR WITHIN 24" OF A DOOR MUST BE TEMPERED.
3. DIMENSIONING STANDARDS ARE AS FOLLOWS (UNO):
A) EXTERIOR DIMENSIONS AT BUILDING CORNERS REPRESENTS AN OUTSIDE FACE OF STUD/FACE OF CONCRETE DIMENSION.
B) EXTERIOR/INTERIOR DIMENSIONING AT WINDOWS, CASED OPENINGS, AND DOORS REPRESENTS THE CENTER OF THAT OPENING, FROM THE CENTER OF ANOTHER OPENING OR FACE OF STUD (OR FIN JAMB).
C) INTERIOR DIMENSIONING AT STUD WALLS REPRESENTS A DIMENSION TO THE FACE OF THE STUD (UNO).
4. SEE STRUCTURAL DRAWINGS & BUILDING SECTION FOR ADDITIONAL INFORMATION.
5. ALL WORK SHALL MEET FEDERAL, STATE AND LOCAL CODES/REQUIREMENTS.

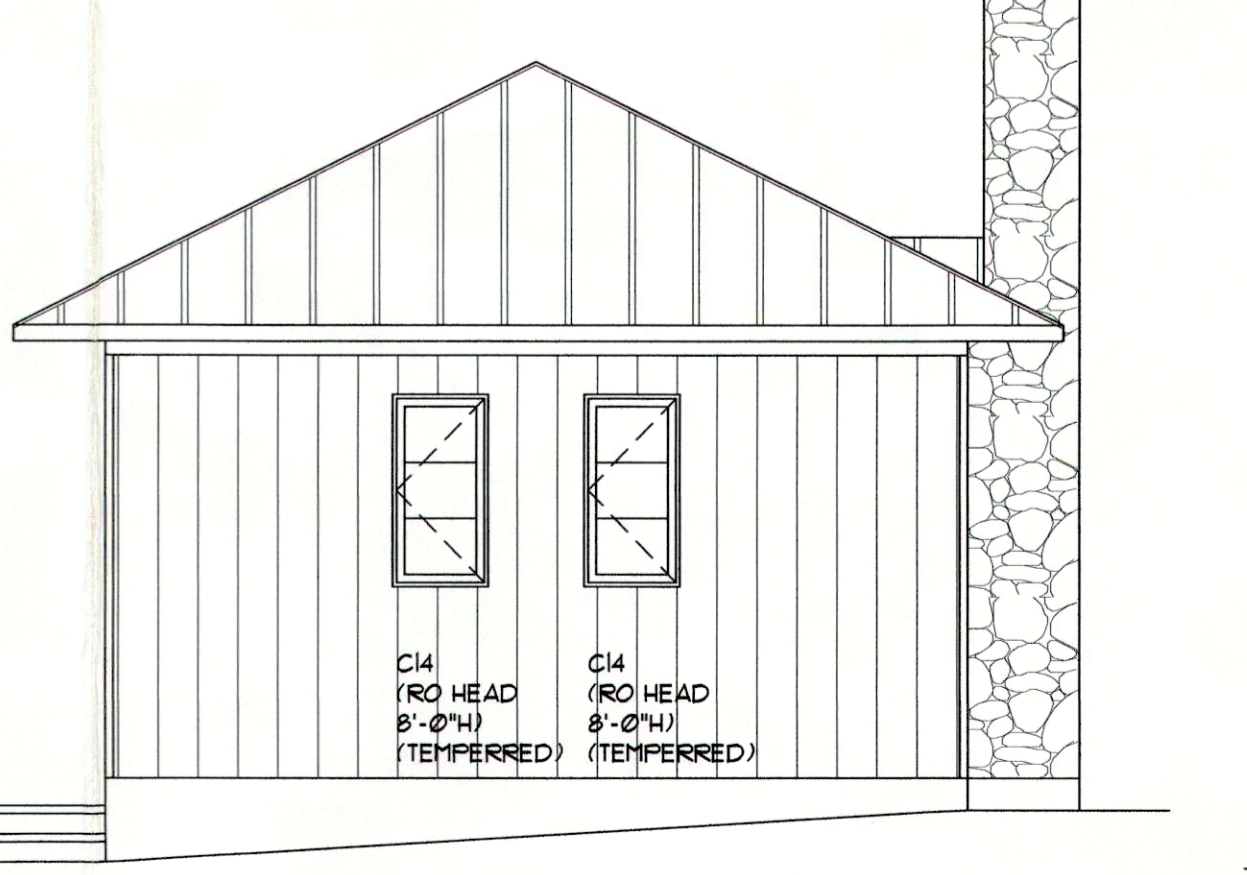
FOUNDATION NOTES:
1. FOUNDATION DESIGN BASED ON A MINIMUM SOIL BEARING OF 3000PSI
2. CONCRETE SHALL REACH 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI
3. PROVIDE 1/2" DIA x 10" ANCHOR BOLTS AT 6'-0" OC 1'-0" FROM CORNERS
4. FOUNDATION TO BEAR ON UNDISTURBED EARTH. PROVIDE 48" MINIMUM FROST COVER TYPICAL.
5. TYP FOUNDATION WALL IS 10" W
6. DISCREPANCIES INCONSISTENCIES OR AMBIGUITIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.



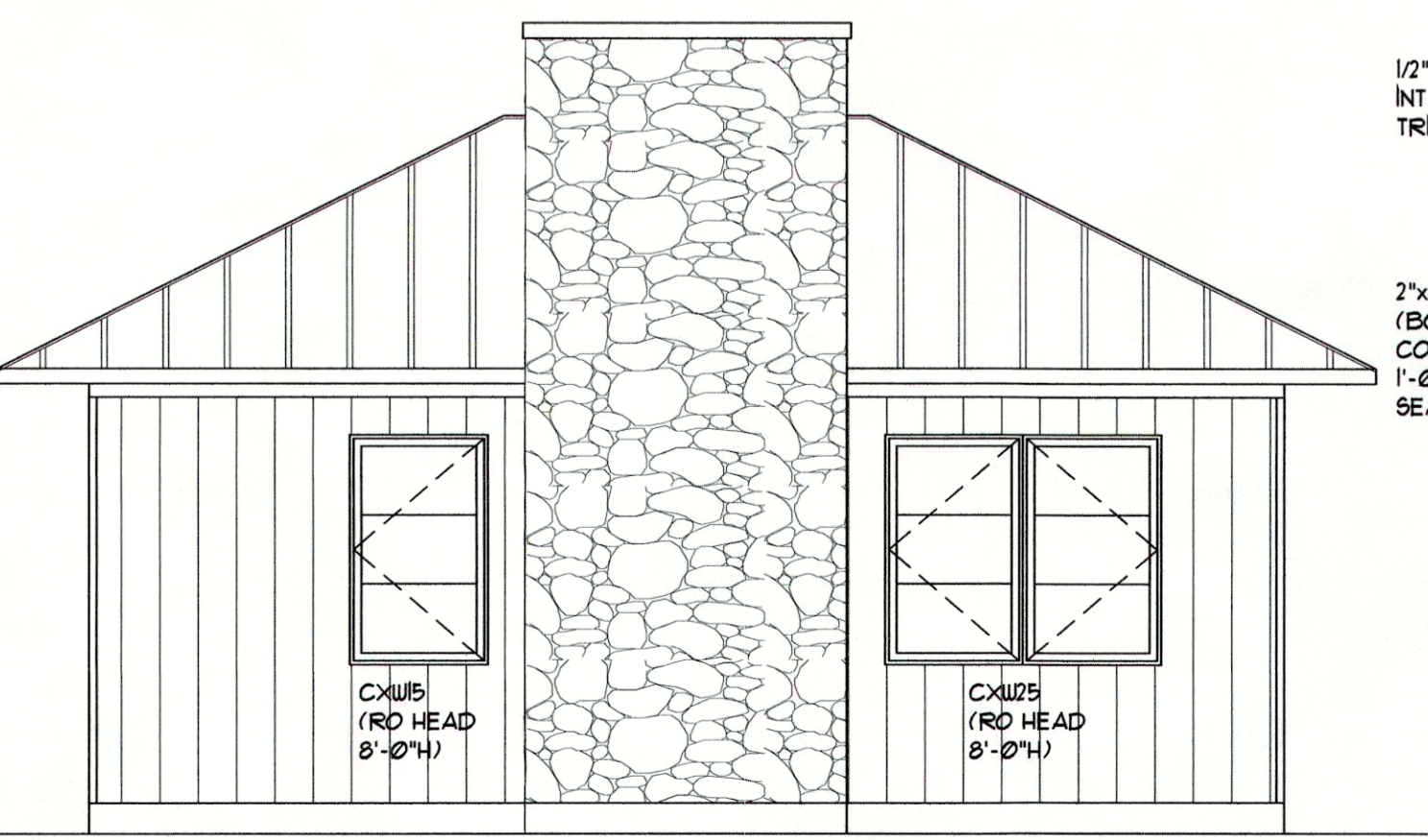
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



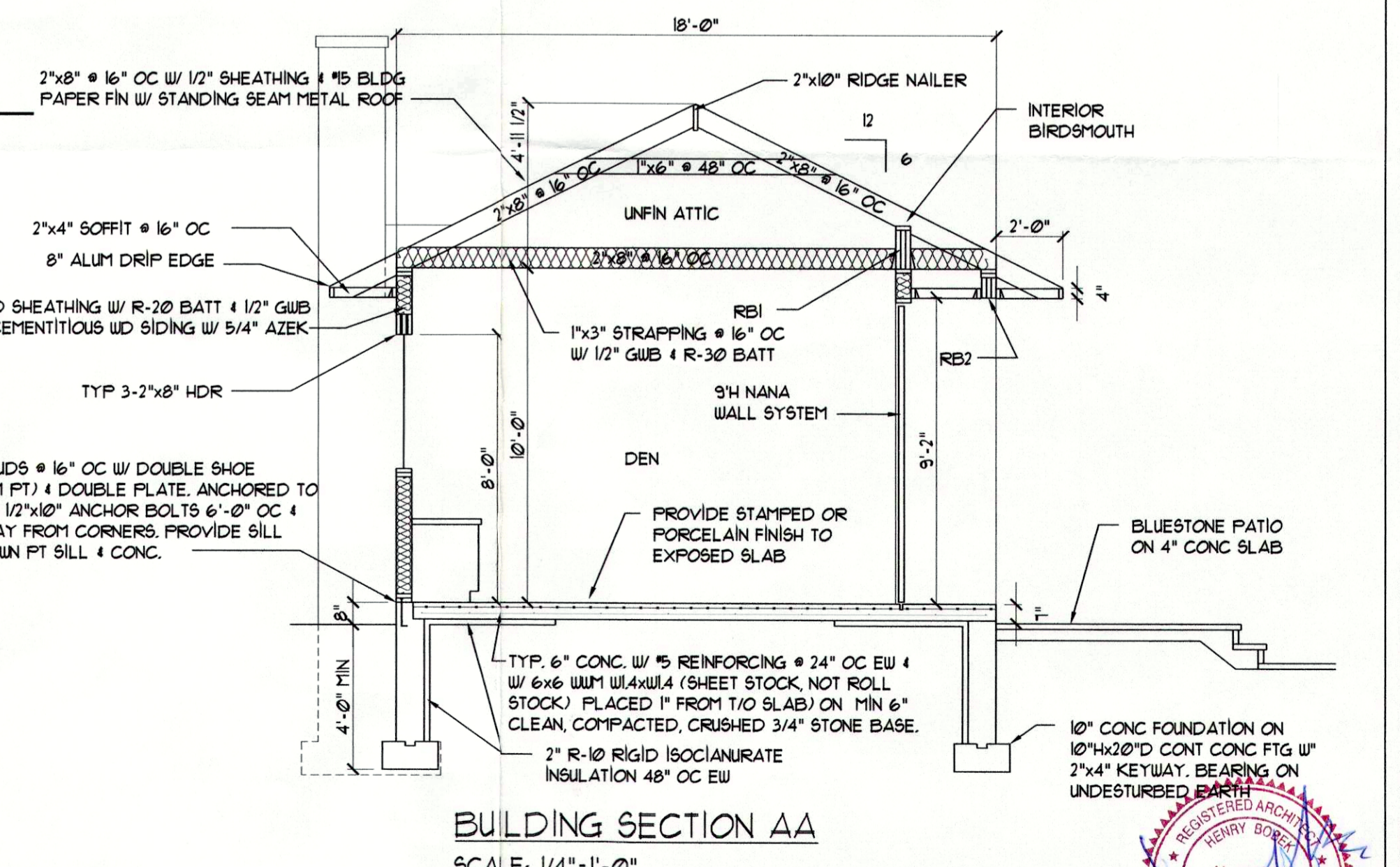
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

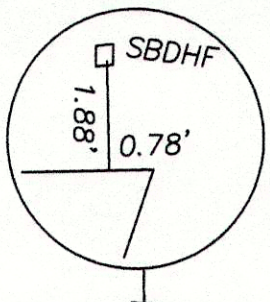


BUILDING SECTION AA
SCALE: 1/4" = 1'-0"
NOTE: THIS STRUCTURE ISN'T CONDITIONED & INSULATED FENESTRATION IS NOT REQUIRED

Design & Drafting services performed by:
Signature Designs ARCHITECTURE
 73 Bishop Road, Sharon, MA 02067
 781-806-0065
 No. 10833 ARCHITECT MASS. REG. 00127
 DESIGNER/ARCHITECT
 DATE: 07/18/21
 SHEET NO. **A1** OF 1

- LEGEND**
- BIT BITUMINOUS
 - ETW EDGE OF TRAVELED WAY
 - F.F. FINISHED FLOOR
 - GG GAS GATE
 - INV. INVERT
 - PP POWER POLE
 - SMH SEWER MANHOLE
 - TH TRUNKHEAD
 - T.O.C. TOP OF CONCRETE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR

PL.BK. 691 - PL.NO. 19 - 2015



SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

1.88
0.78

SBDHF

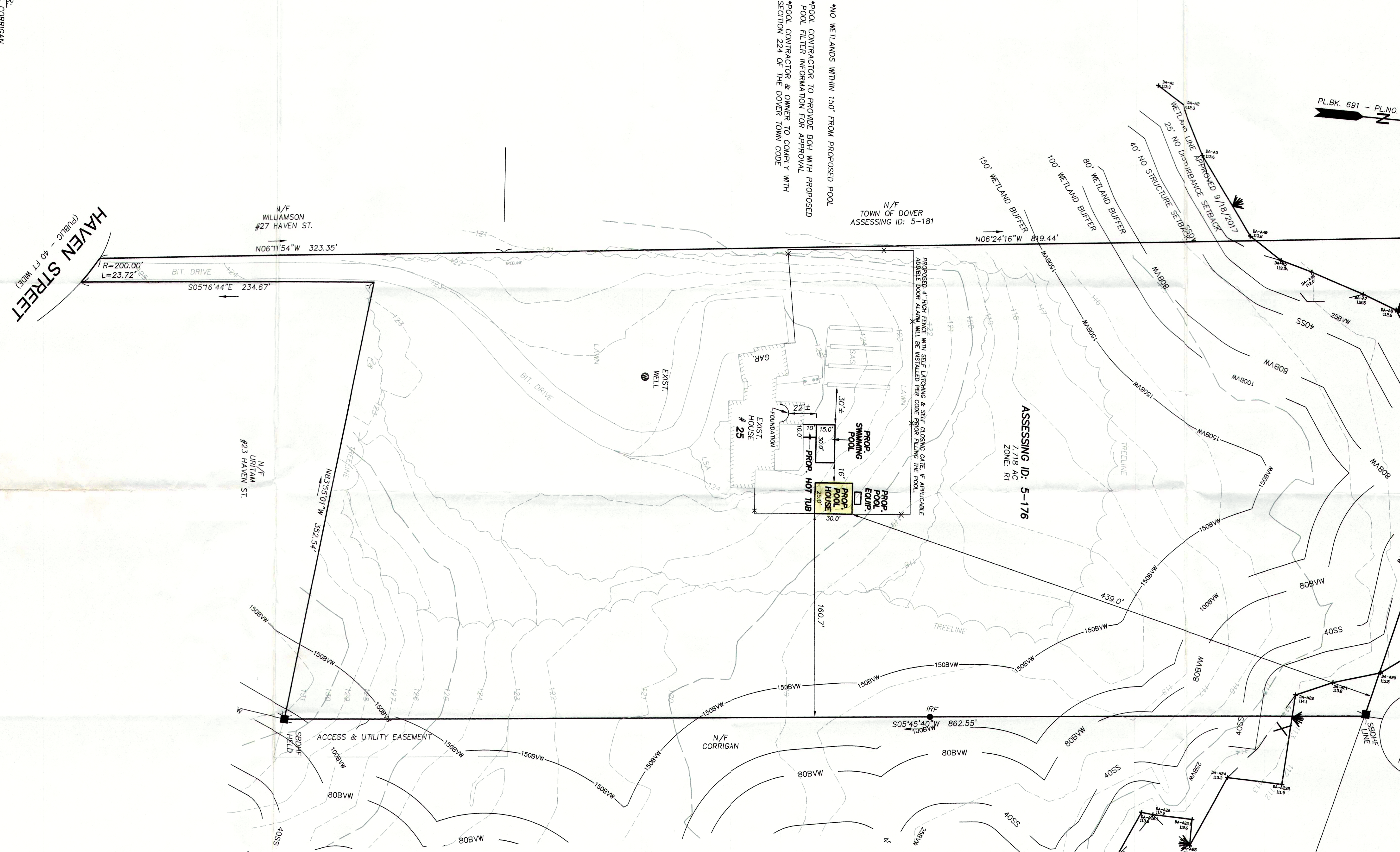
1.88
0.78

SBDHF

1.88
0.78

SBDHF

- NOTES:
1. SUBJECT TO ANY STATEMENT OF FACT AN UP-TO-DATE ABSTRACT OF TITLE WOULD DISCLOSE.
 2. SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD.
 3. UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES, IF ANY, HAVE BEEN SHOWN FROM SURFACE LOCATIONS MEASUREMENTS OBTAINED FROM A FIELD SURVEY AND RECORD LOCATIONS. THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UTILITIES WHICH THE EXISTENCE OF ARE NOT KNOWN, SIZE, TYPE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED BY PROPER FIELD SURVEY PRIOR TO ANY AND ALL CONSTRUCTION CALL TOLL FREE 888-344-7233 OR 888-344-7233 SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION.



*NO WETLANDS WITHIN 150' FROM PROPOSED POOL

*POOL CONTRACTOR TO PROVIDE BOH WITH PROPOSED POOL FILTER INFORMATION FOR APPROVAL

*POOL CONTRACTOR & OWNER TO COMPLY WITH SECTION 224 OF THE DOVER TOWN CODE

PROPOSED 4" HIGH FENCE WITH SELF LATCHING & SELF CLOSING GATE, IF APPLICABLE

ADDITIONAL DOOR ALARM WILL BE INSTALLED PER CODE PRIOR TO FILLING THE POOL.

N/F TOWN OF DOVER
ASSESSING ID: 5-181

ASSESSING ID: 5-176

N/F CORRIGAN

HAVEN STREET
(Public - 40 FT WIDE)

N/F WILLIAMSON
#27 HAVEN ST.
N06°11'54"W 323.35'

BIT. DRIVE
R=200.00'
L=23.72'

S05°16'44"E 234.67'

N/F URRITAM
#23 HAVEN ST.

N83°35'01"W 352.54'

SBDHF FIELD

ACCESS & UTILITY EASEMENT

IRF

S05°45'40"W 862.55'

100BW

80BW

40SS

28BW

150BW

80BW

40SS

28BW

150BW

80BW

40SS

28BW

150BW

80BW

40SS