

LEGEND & ABBREVIATIONS

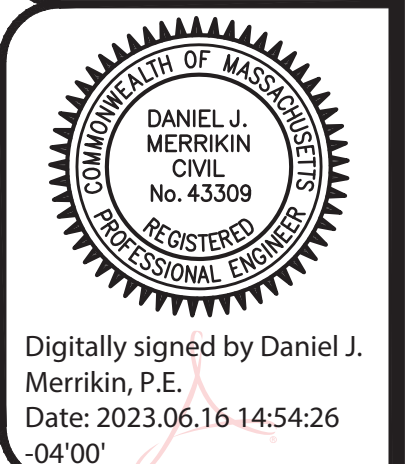
- CB: SINGLE-GRADE CATCH BASIN
- CB: DOUBLE-GRADE CATCH BASIN
- OPTU xxx: PROPRIETARY STORMWATER UNIT
- DMH: DRAIN MANHOLE
- TR DR: TRENCH DRAIN
- INFIL TR: INFILTRATION TRENCH
- X" D: DRAIN PIPELINE
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- OSMH: SEWER MANHOLE
- X" S: SEWER PIPELINE
- CCO: SEWER SERVICE CLEANOUT
- X" W: WATER MAIN
- HYD: HYDRANT
- WGV: WATER GATE VALVE
- CS: WATER SERVICE CURB STOP
- MSB: WATER SERVICE METER BOX
- G: GAS PIPELINE
- E: ELECTRIC CONDUIT
- LP: LIGHT POLE
- UP: UTILITY POLE
- G.Y: GUY WIRE
- S.P: TRAFFIC SIGNAL POLE
- 252: EXISTING CONTOUR
- 252: PROPOSED CONTOUR
- E.O.P: EDGE OF PAVEMENT
- C.B: INTEGRAL SLOPED BIT BERM
- V.B.B: VERTICAL BITUMINOUS BERM
- S.G.C: SLOPED GRANITE CURB
- V.G.C: VERTICAL GRANITE CURB
- V.C.C: VERTICAL CONCRETE CURB
- E.C.S: EDGE CONCRETE SLAB
- G.V: GATE VALVE
- C.L.F: CHAIN LINK FENCE
- W.S.F: WOOD STOCKADE FENCE
- P.P.F: PVC PICKET FENCE
- G.R: GUARD RAIL
- C.C: HANDICAP CURB CUT

OWNER & APPLICANT
 ROBERT W. RECCHIA
 16 PUTNAM LANE
 GRAFTON, MA 01519

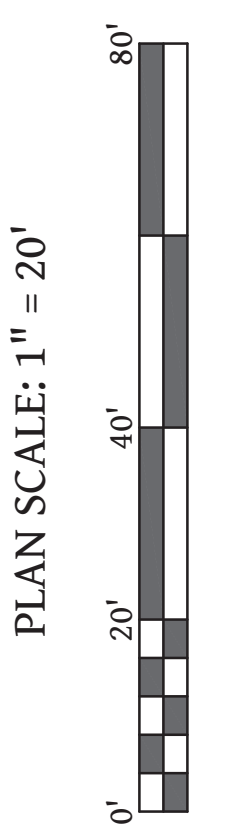
ZONING DISTRICT
 R-1
 ZONE II (PARTIALLY)
 GROUNDWATER PROTECTION
 DISTRICT QW-1

ASSESSORS PARCEL
 05-011
 05-052
 05-023
 05-078

PLAN REFERENCE
 LAND COURT PLAN 30520A



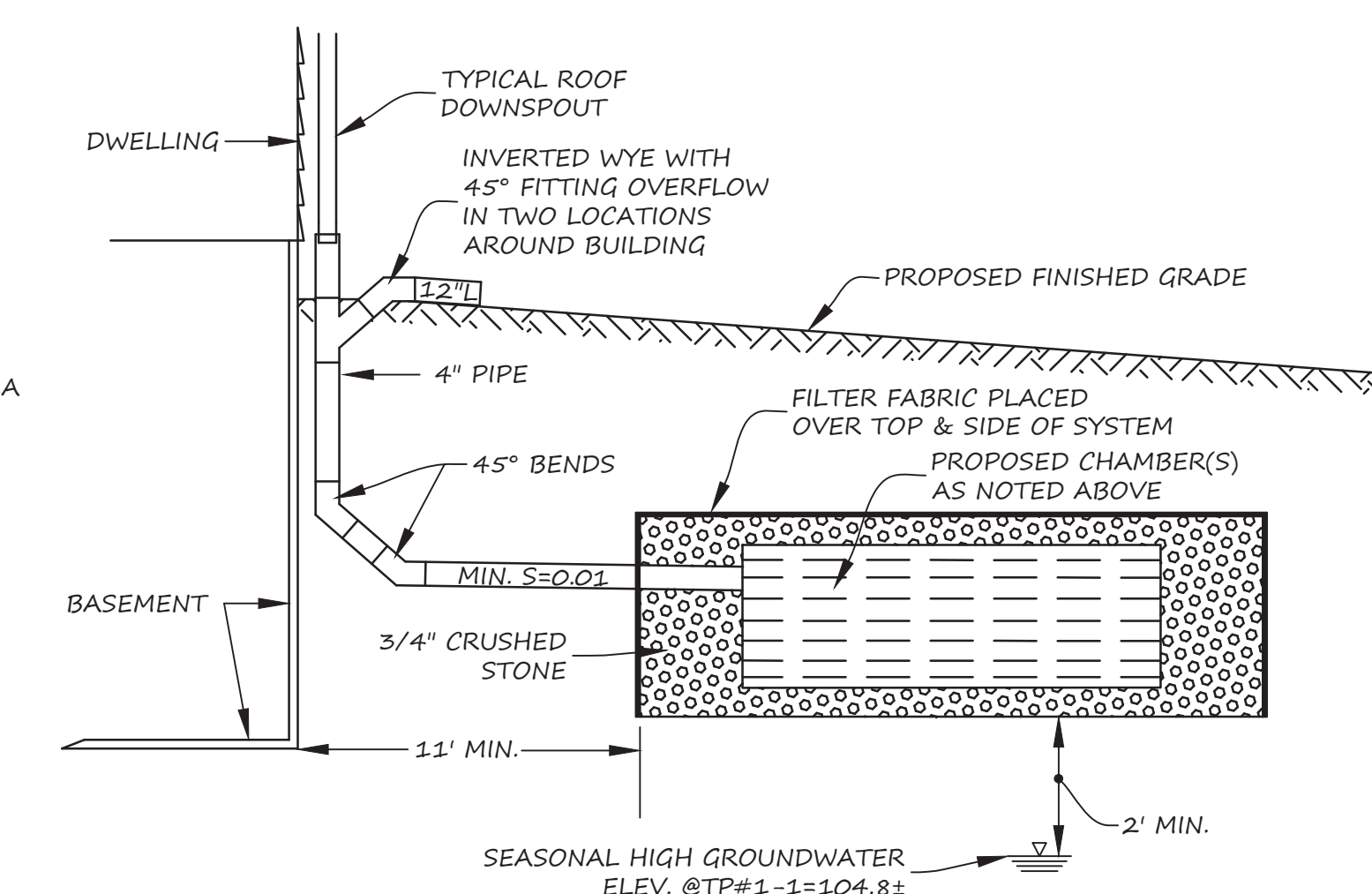
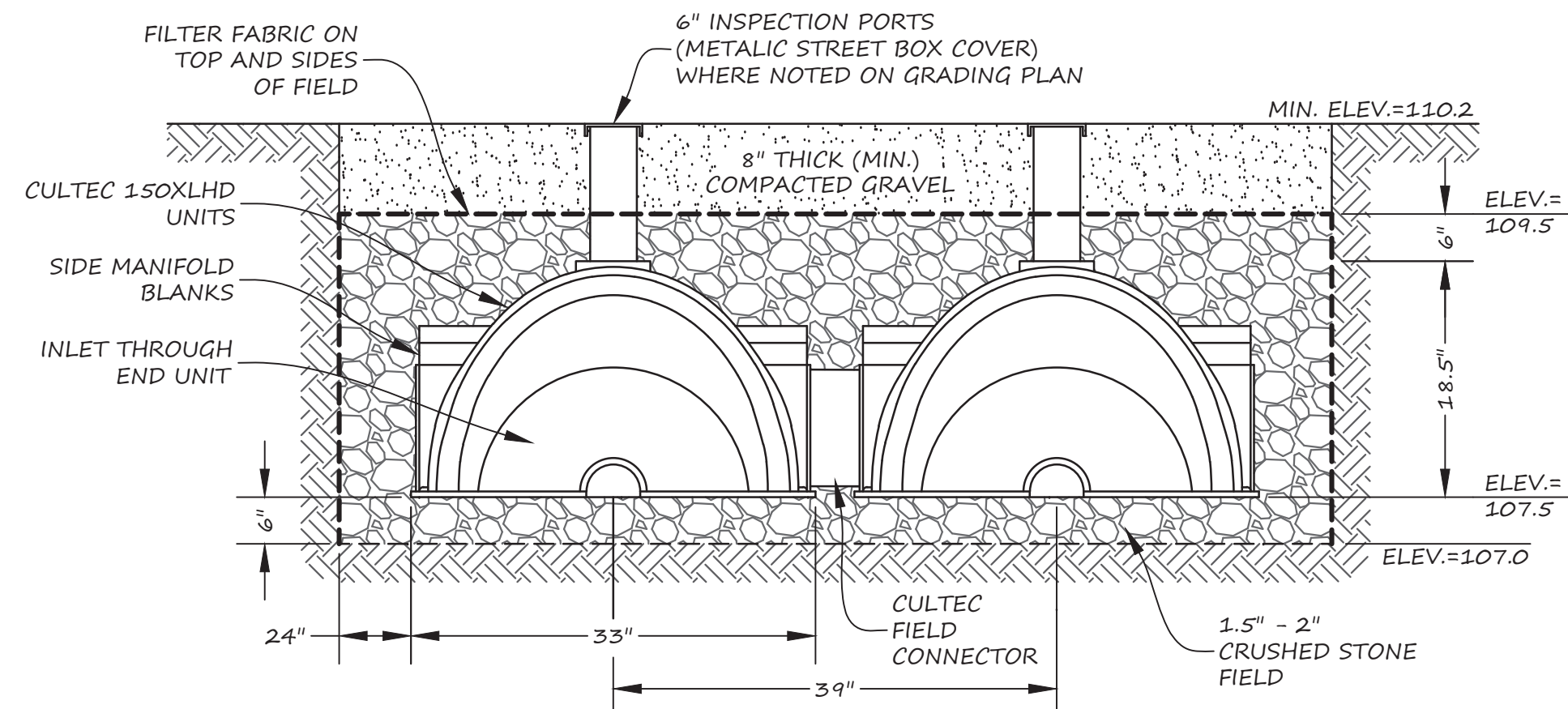
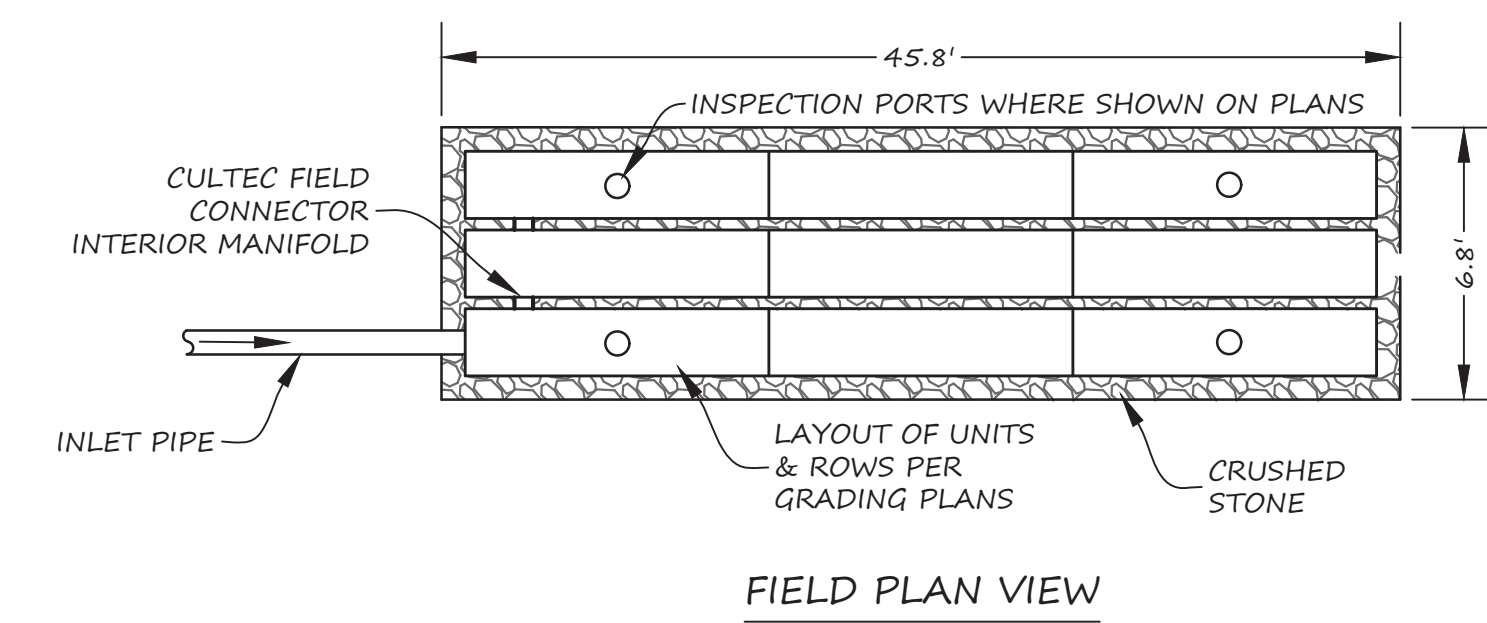
Digitally signed by Daniel J. Merrikin, P.E.
 Date: 2023.06.16 14:54:26 -0400'



REVISION	DATE	BY

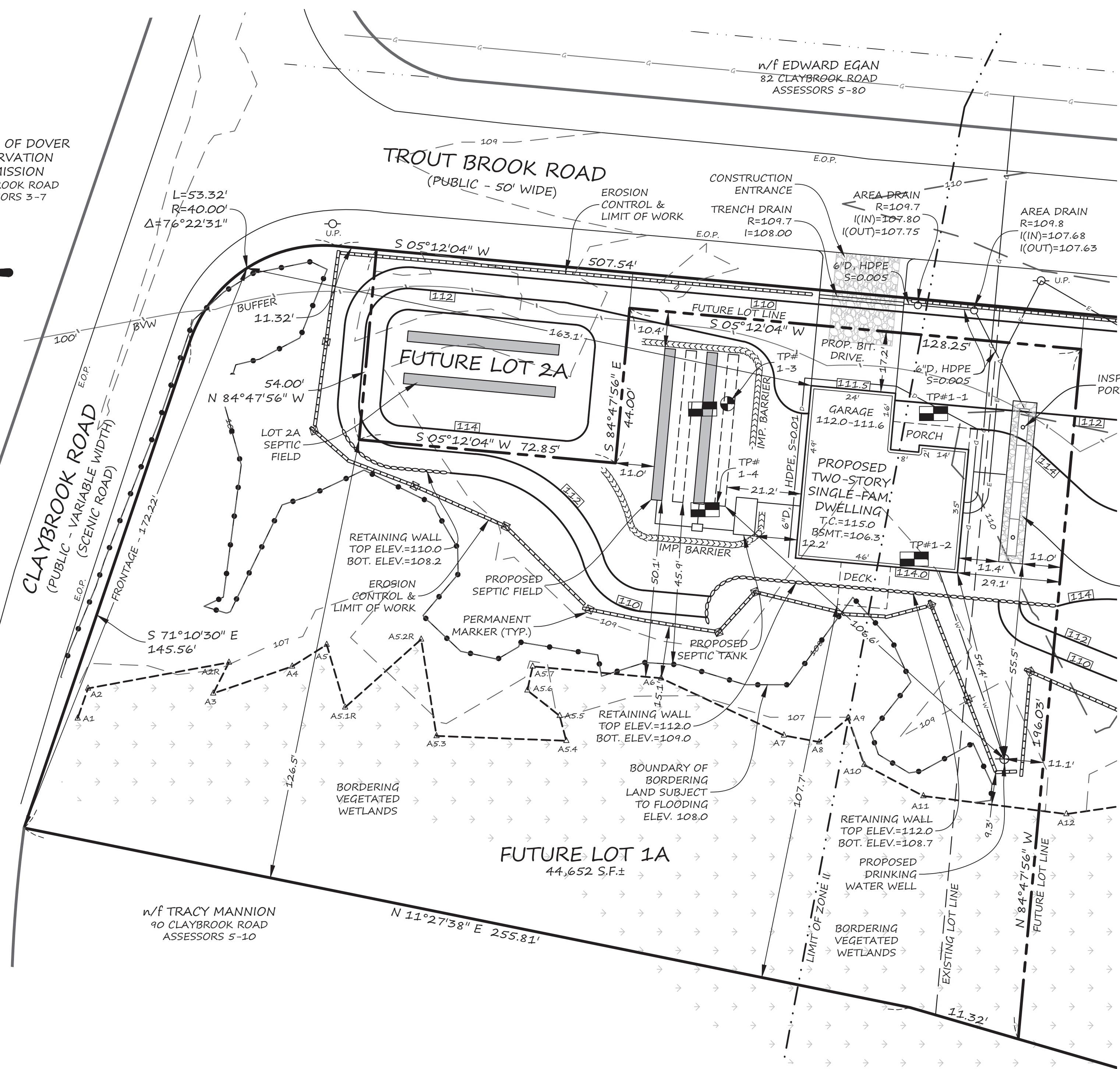
PLAN DATE: JUNE 7, 2023

DOVER HOMES
 LOT 1A
 PRELIMINARY SITE
 PLAN OF LAND IN
 DOVER, MA



- NOTES:
- INFILTRATION TRENCH UNITS TO BE RECHARGER 150XLHD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
 - INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
 - TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
 - INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
 - THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE. THE SYSTEM DESIGNED HAS A STORAGE CAPACITY OF 442 C.F.
 - PIPING FOR THE ROOF DOWNSPOUT COLLECTION SYSTEM MAY BE SCHEDULE 40 PVC OR HDPE.
 - USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.
 - ALL TOPSOIL, SUBSOIL, AND UNSUITABLE SOILS UNDER AND WITHIN 3 FEET OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH SEPTIC SAND MEETING DESIGN ENGINEER'S APPROVAL.

ROOF RUNOFF INFILTRATION FIELD
 NOT TO SCALE



ZONING REQUIREMENTS:

	REQUIRED	LOT 1A
LOT AREA	43,560 S.F.	45,650 S.F.
LOT FRONTAGE	150'	172.22'
FRONT SETBACK	40'	163.1'
SIDE SETBACK	30'	17.2'
REAR SETBACK	30'	29.1'
HEIGHT	2.5 STORIES	<2.5 STORIES
LOT IMP. COVERAGE	20%	5.8%
PERFECT SQUARE	150'x150'	NO

UTILITY NOTES:

- DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
- DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL).
- SEPTIC PIPING SHALL BE SCHEDULE 40 PVC, EXCEPT FOR UNDER PARKING AREAS, WHICH SHALL BE SCHEDULE 80.
- THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE.

730 MAIN STREET
 SUITE 2C
 MILLIS, MA 02054
 508-376-8883(o)



LEGEND & ABBREVIATIONS

- CB: SINGLE-GRATE CATCH BASIN
- CB: DOUBLE-GRATE CATCH BASIN
- PTU: PROPRIETARY STORMWATER UNIT
- DMH: DRAIN MANHOLE
- TR: TRENCH DRAIN
- INFIL TR: INFILTRATION TRENCH
- X" D---: DRAIN PIPELINE
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- OSMH: SEWER MANHOLE
- X" S---: SEWER PIPELINE
- OC.D.: SEWER SERVICE CLEANOUT
- X" W---: WATER MAIN
- HYD: HYDRANT
- W.G.V.: WATER GATE VALVE
- W.S.C.S.: WATER SERVICE CURB STOP
- W.S.M.B.: WATER SERVICE METER BOX
- G: GAS PIPELINE
- E: ELECTRIC CONDUIT
- L.P.: LIGHT POLE
- U.P.: UTILITY POLE
- G.Y.: GUY WIRE
- S.P.: TRAFFIC SIGNAL POLE
- 252---: EXISTING CONTOUR
- 252---: PROPOSED CONTOUR
- E.O.P.: EDGE OF PAVEMENT
- C.C.B.: INTEGRAL SLOPED BIT. BERM
- V.B.B.: VERTICAL BITUMINOUS BERM
- S.G.C.: SLOPED GRANITE CURB
- V.G.C.: VERTICAL GRANITE CURB
- V.C.C.: VERTICAL CONCRETE CURB
- E.C.S.: EDGE CONCRETE SLAB
- G.V.: GATE VALVE
- C.L.F.: CHAIN LINK FENCE
- W.S.F.: WOOD STOCKADE FENCE
- P.P.F.: PVC PICKET FENCE
- G.R.: GUARD RAIL
- C.C.: HANDICAP CURB CUT

UTILITY NOTES:

1. DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
2. DRAINAGE PIPING SHALL BE HDPE RATED FOR H₂O LOADING. (ADS N12 OR EQUAL)
3. SEPTIC PIPING SHALL BE SCHEDULE 40 PVC, EXCEPT FOR UNDER PARKING AREAS, WHICH SHALL BE SCHEDULE 80.
4. THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE.

ZONING REQUIREMENTS:

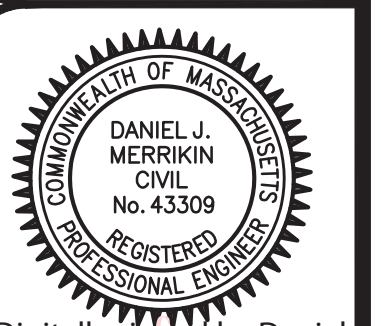
LOT AREA	REQUIRED	LOT 2A
43,560 S.F.	150'	46,934 S.F.
LOT FRONTAGE	150'	210.00'
FRONT SETBACK	40'	32.0'
SIDE SETBACK	30'	29.1'
REAR SETBACK	30'	119.0'
HEIGHT	2.5 STORIES	<2.5 STORIES
LOT COVERAGE	20%	6.1%
PERFECT SQUARE	150'x150'	YES

OWNER & APPLICANT
ROBERT W. RECCHIA
16 PUTNAM LANE
GRAFTON, MA 01519

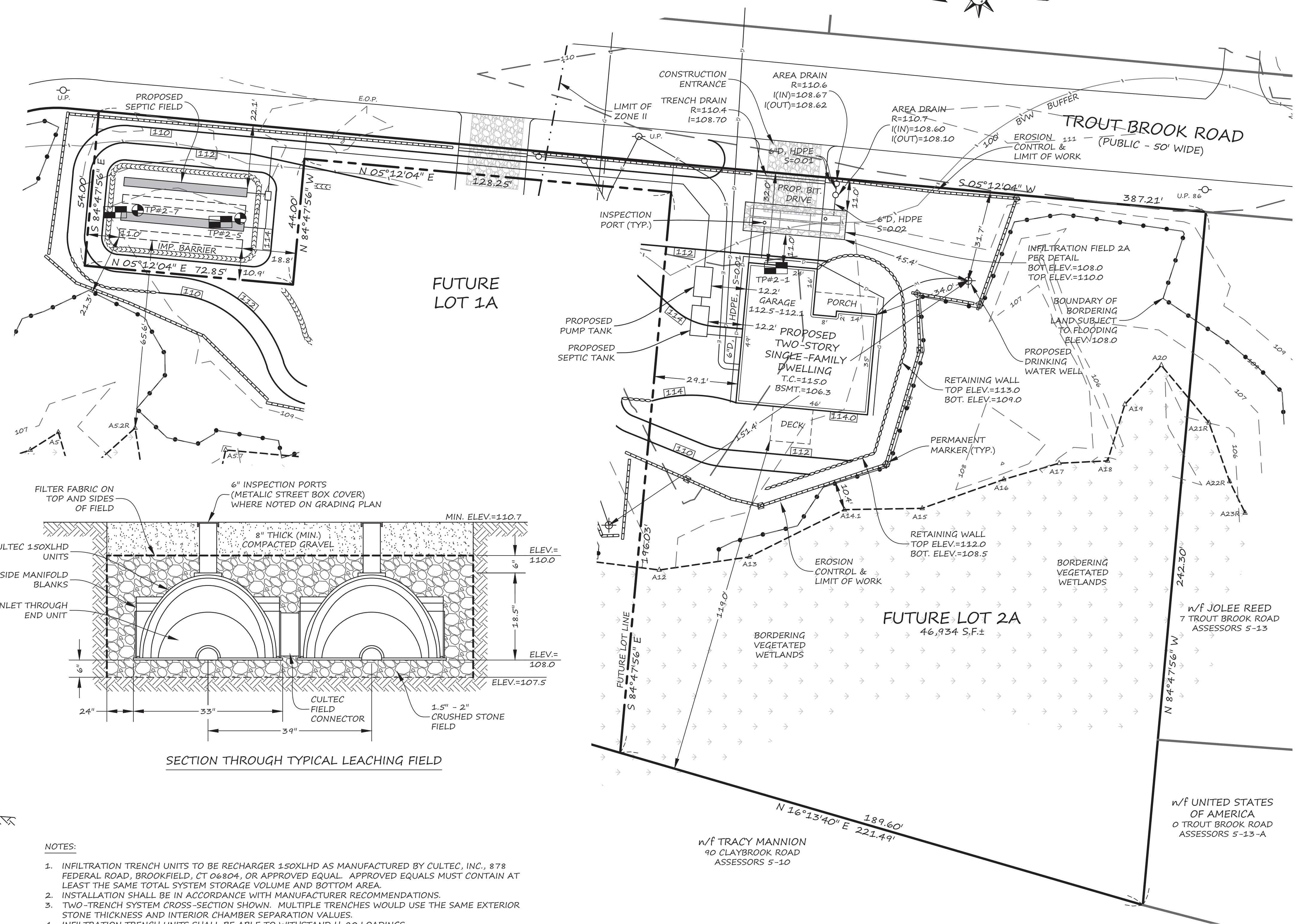
ZONING DISTRICT
R-1
ZONE II (PARTIALLY)
GROUNDWATER PROTECTION
DISTRICT QW-1

ASSESSORS PARCEL
05-011
05-012
05-023
05-078

PLAN REFERENCE
LAND COURT PLAN 30520A



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2023.06.16 14:54:10 -04'00'



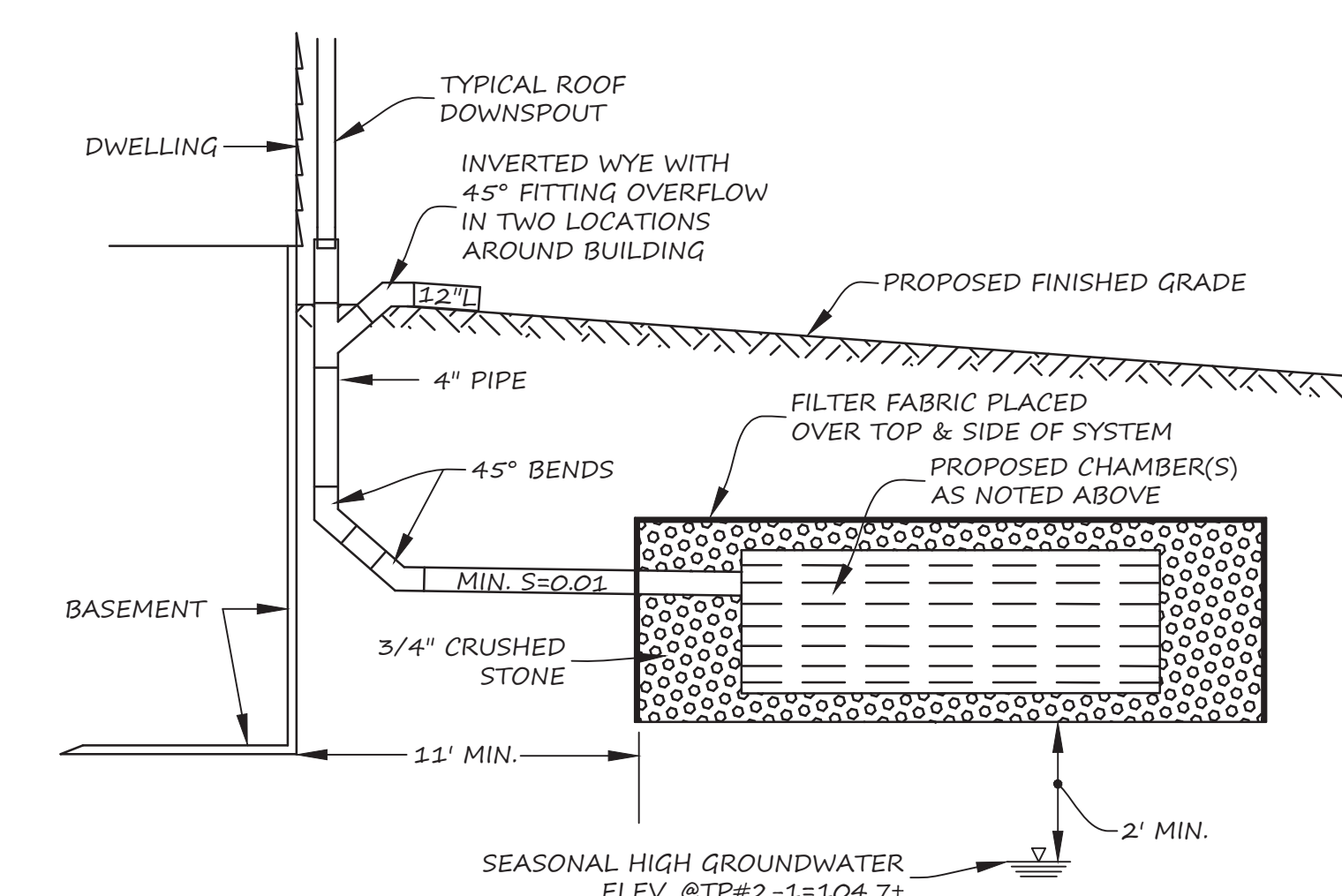
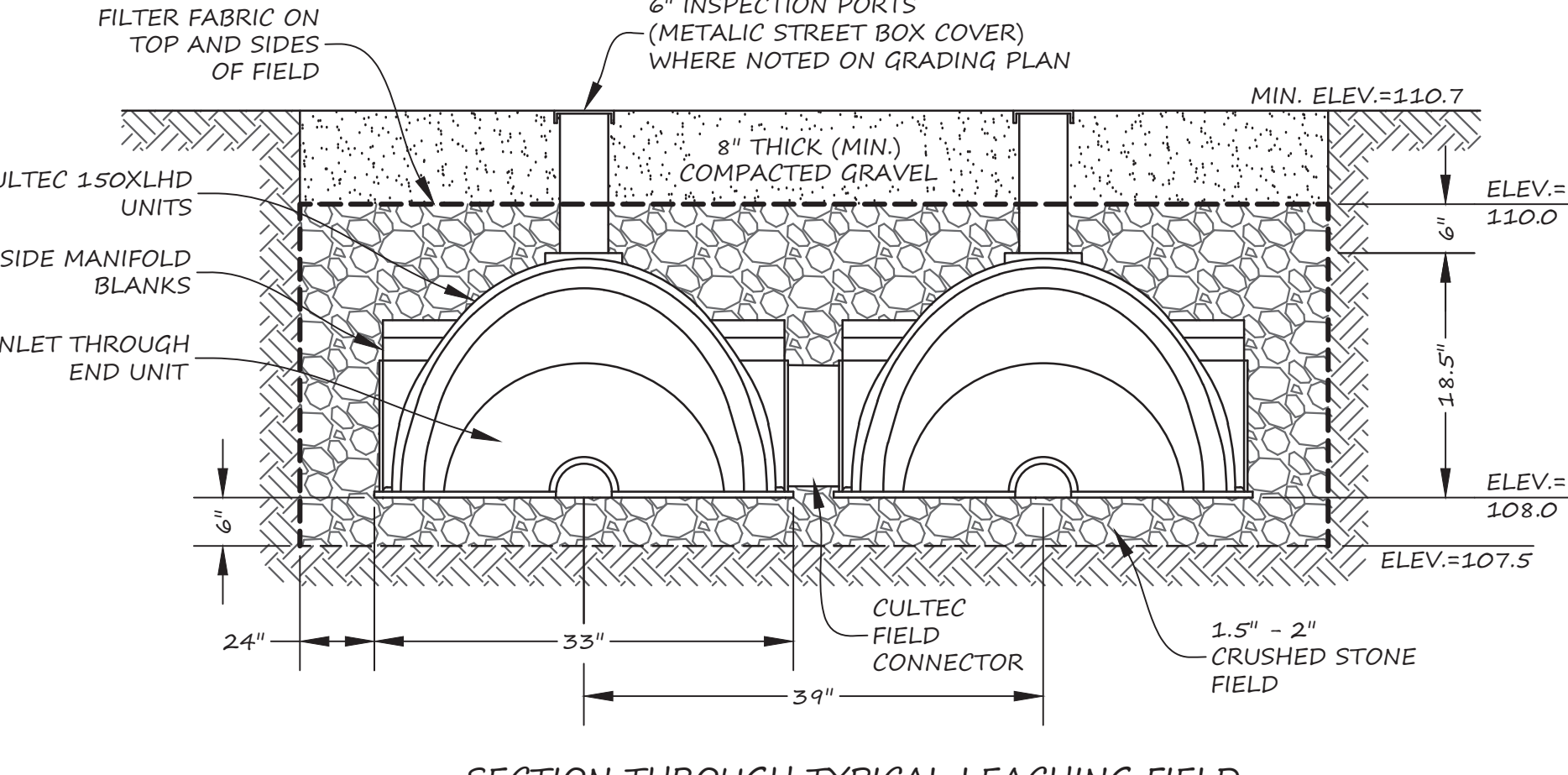
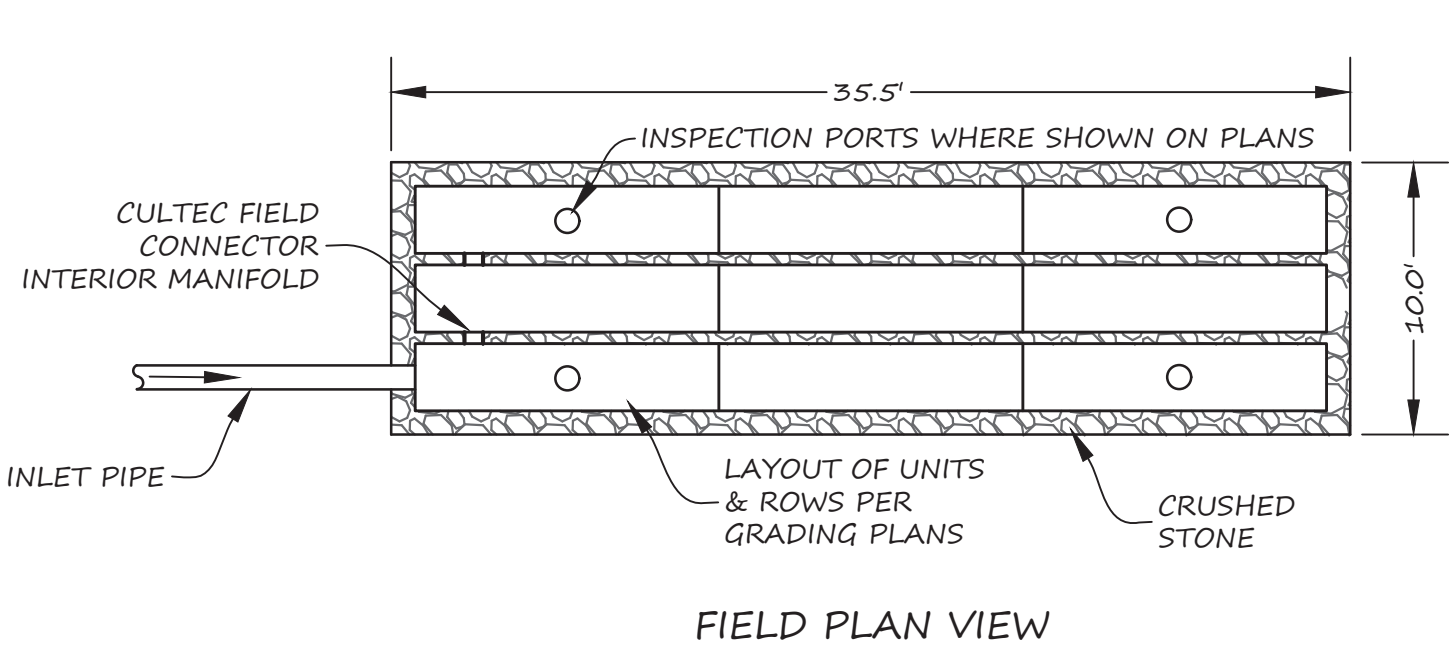
PLAN SCALE: 1" = 20'

0' 20' 40' 80'

REVISION	DATE	BY

PLAN DATE: JUNE 7, 2023

DOVER HOMES
LOT 2A
PRELIMINARY SITE
PLAN OF LAND IN
DOVER, MA



- NOTES:**
1. INFILTRATION TRENCH UNITS TO BE RECHARGER 150XLHD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
 2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
 3. TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
 4. INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
 5. THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE. THE SYSTEM DESIGNED HAS A STORAGE CAPACITY OF 461 C.F.
 6. PIPING FOR THE ROOF DOWNSPOUT COLLECTION SYSTEM MAY BE SCHEDULE 40 PVC OR HDPE.
 7. USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.
 8. ALL TOPSOIL, SUBSOIL, AND UNSUITABLE SOILS UNDER AND WITHIN 3 FEET OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH SEPTIC SAND MEETING DESIGN ENGINEER'S APPROVAL.

ROOF RUNOFF INFILTRATION FIELD
NOT TO SCALE

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

LEGACY ENGINEERING

C-2

ZONING REQUIREMENTS:

LOT AREA	REQUIRED	LOT 4
43,560 S.F.	43,560 S.F.	56,650 S.F.
LOT FRONTAGE	150'	257.68'
FRONT SETBACK	40'	32.0'
SIDE SETBACK	30'	58.4'
REAR SETBACK	30'	84.0'
HEIGHT	2.5 STORIES	<2.5 STORIES
LOT COVERAGE	20%	6.2%
PERFECT SQUARE	150'x150'	YES

OWNER & APPLICANT
 ROBERT W. RECCHIA
 16 PUTNAM LANE
 GRAFTON, MA 01519

ZONING DISTRICT
 R-1
 ZONE II
 GROUNDWATER PROTECTION
 DISTRICT QW-1

ASSESSORS PARCEL
 05-011
 05-012
 05-023
 05-078

PLAN REFERENCE
 LAND COURT PLAN 30520A

LEGEND & ABBREVIATIONS

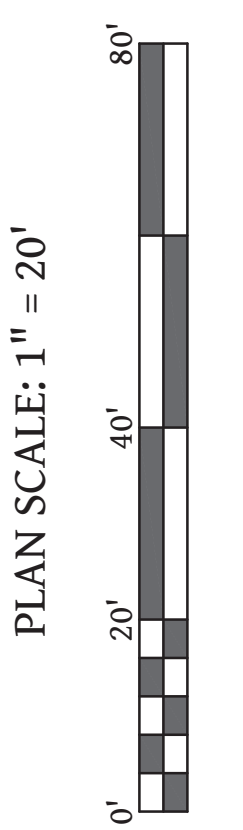
- CB: SINGLE-GRATE CATCH BASIN
- ▣ CB: DOUBLE-GRATE CATCH BASIN
- FTU: PROPRIETARY STORMWATER UNIT
- DMH: DRAIN MANHOLE
- TR. DR.: TRENCH DRAIN
- INFIL. TR.: INFILTRATION TRENCH
- X— D: DRAIN PIPELINE
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- SMH: SEWER MANHOLE
- X— S: SEWER PIPELINE
- S.O.: SEWER SERVICE CLEANOUT
- X— W: WATER MAIN
- HYD: HYDRANT
- W.G.V.: WATER GATE VALVE
- C.S.: WATER SERVICE CURB STOP
- M.B.: WATER SERVICE METER BOX
- G— GAS PIPELINE
- E— ELECTRIC CONDUIT
- LP: LIGHT POLE
- UP: UTILITY POLE
- GW: GUY WIRE
- TS: TRAFFIC SIGNAL POLE
- 252— EXISTING CONTOUR
- 223— PROPOSED CONTOUR
- E.O.P.: EDGE OF PAVEMENT
- C.C.B.: INTEGRAL SLOPED BIT. BERM
- V.B.B.: VERTICAL BITUMINOUS BERM
- S.G.C.: SLOPED GRANITE CURB
- V.G.C.: VERTICAL GRANITE CURB
- V.C.C.: VERTICAL CONCRETE CURB
- E.C.S.: EDGE CONCRETE SLAB
- G.V.: GATE VALVE
- C.L.F.: CHAIN LINK FENCE
- W.S.F.: WOOD STOCKADE FENCE
- P.P.F.: PVC PICKET FENCE
- G.R.: GUARD RAIL
- C.C.: HANDICAP CURB CUT

UTILITY NOTES:

- DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
- DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL)
- SEPTIC PIPING SHALL BE SCHEDULE 40 PVC, EXCEPT FOR UNDER PARKING AREAS, WHICH SHALL BE SCHEDULE 80. THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE.



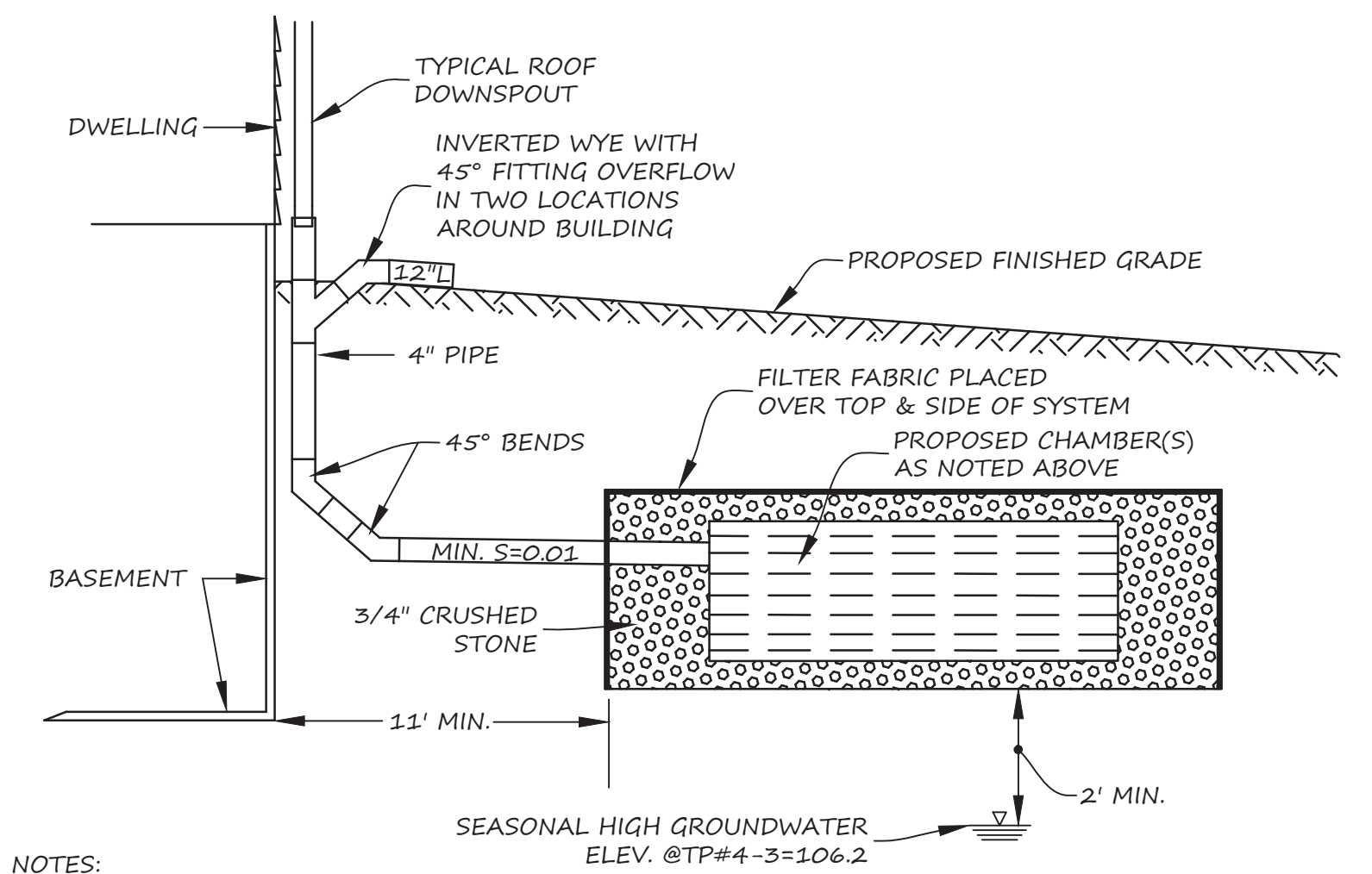
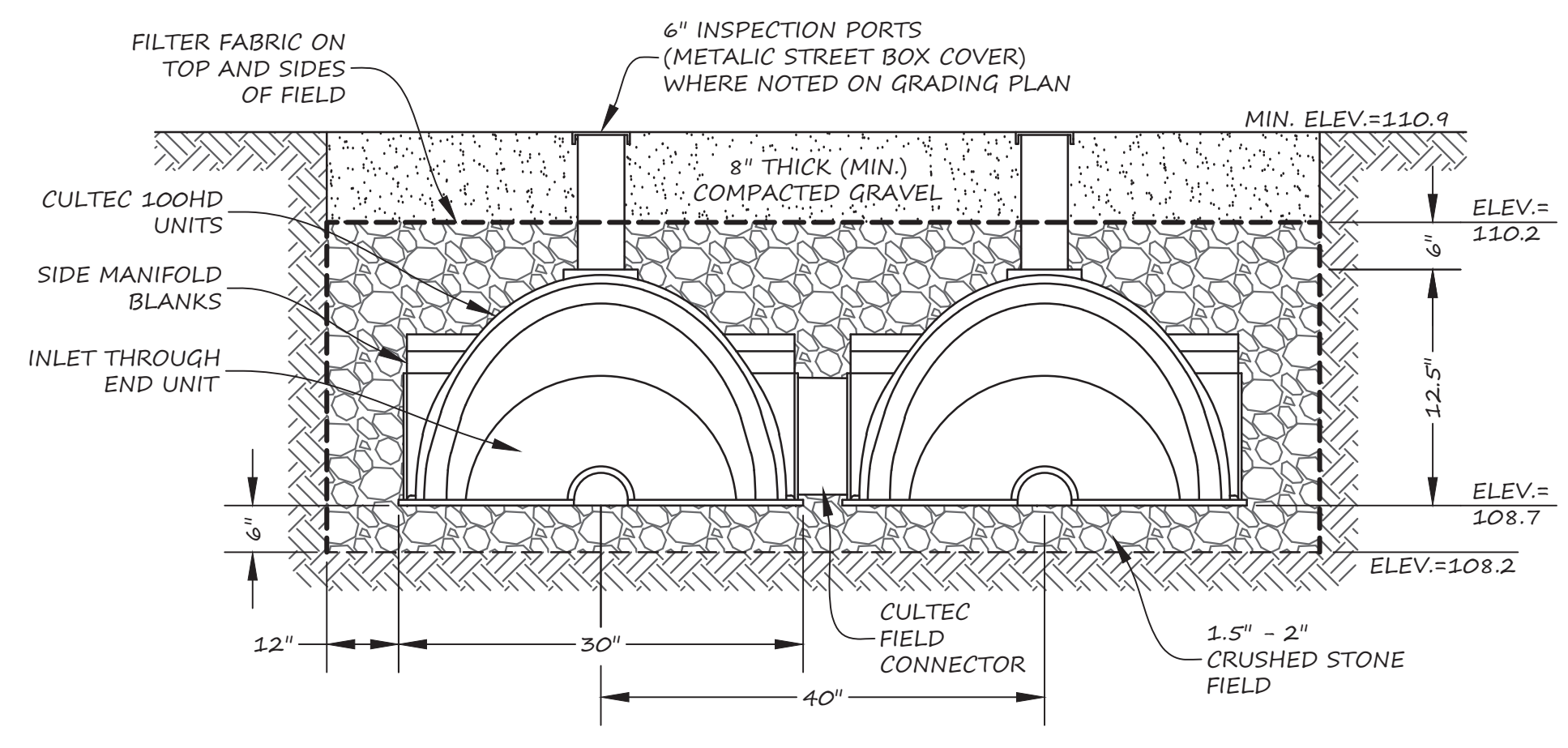
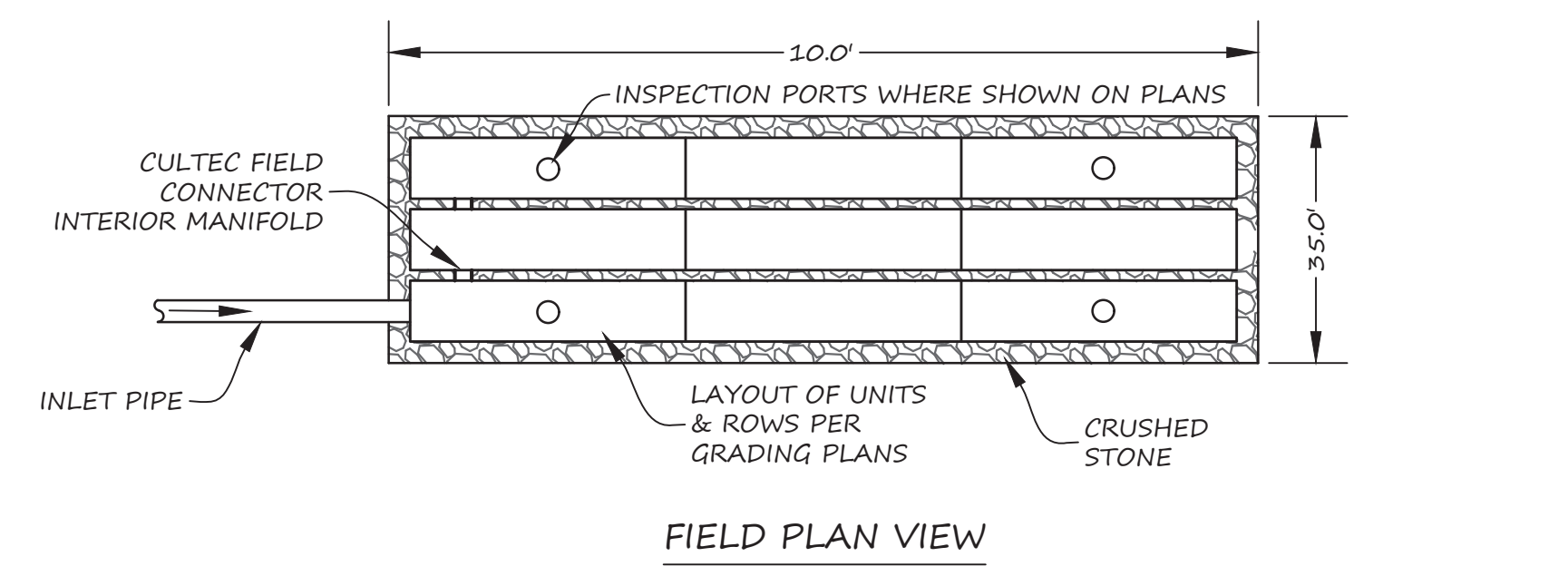
Digitally signed by Daniel J. Merrikin, P.E.
 Date: 2023.06.16 14:53:55 -04'00'



REVISION	DATE	BY

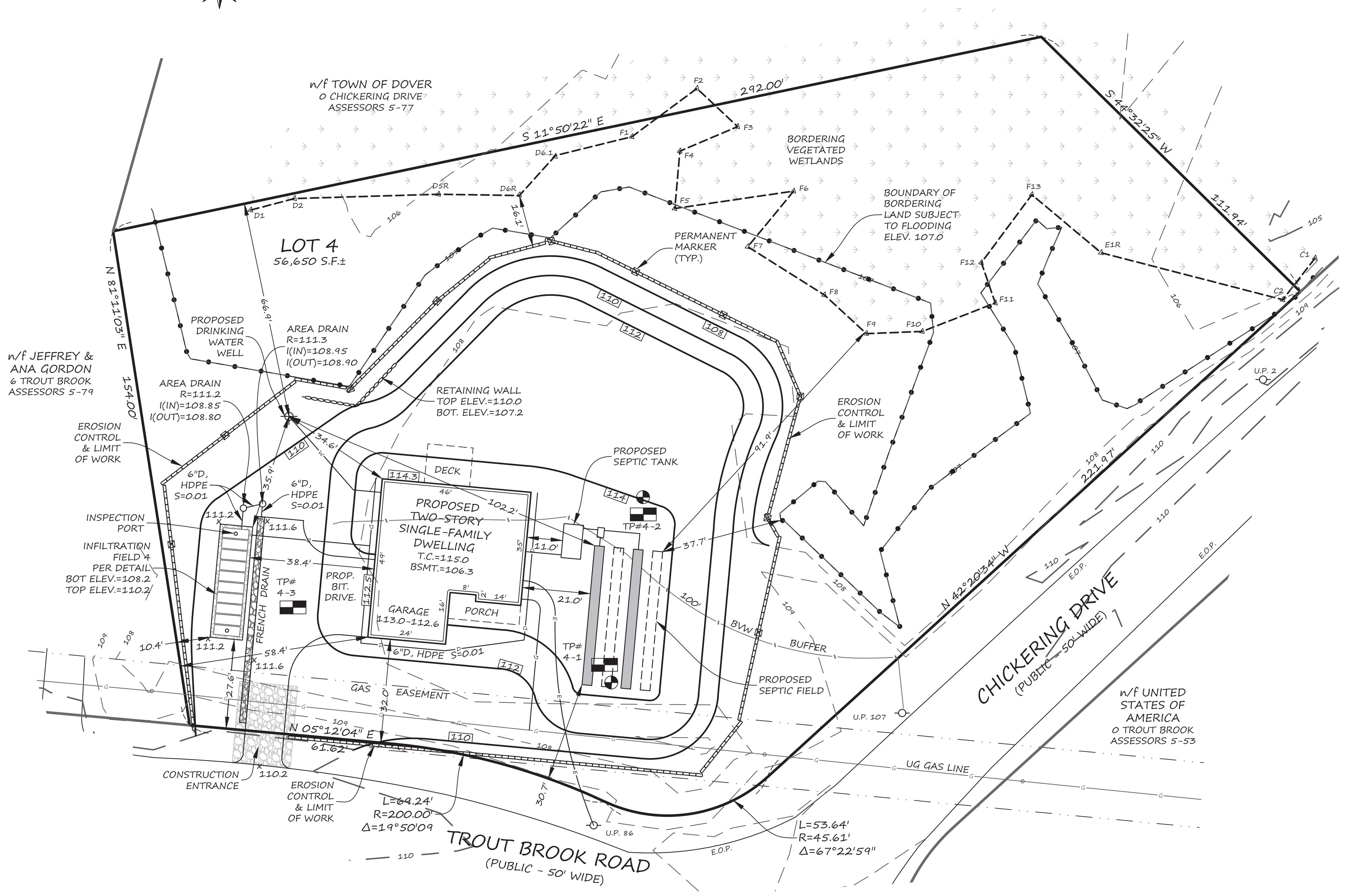
DOVER HOMES
 LOT 4
 PRELIMINARY SITE
 PLAN OF LAND IN
 DOVER, MA

730 MAIN STREET
 SUITE 2C
 MILLIS, MA 02054
 508-376-8883(o)



- NOTES:**
- INFILTRATION TRENCH UNITS TO BE RECHARGER 100HD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
 - INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
 - TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
 - INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
 - THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE. THE SYSTEM DESIGNED HAS A STORAGE CAPACITY OF 375 C.F.
 - PIPING FOR THE ROOF DOWNSPOUT COLLECTION SYSTEM MAY BE SCHEDULE 40 PVC OR HDPE.
 - USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.
 - ALL TOPSOIL, SUBSOIL, AND UNSUITABLE SOILS UNDER AND WITHIN 3 FEET OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH SEPTIC SAND MEETING DESIGN ENGINEER'S APPROVAL.

ROOF RUNOFF INFILTRATION FIELD
 NOT TO SCALE



LEGEND & ABBREVIATIONS

- CB: SINGLE-GRATE CATCH BASIN
- CB: DOUBLE-GRATE CATCH BASIN
- OPTU: PROPRIETARY STORMWATER UNIT
- ODMH: DRAIN MANHOLE
- TR: TRENCH DRAIN
- INFIL-TR: INFILTRATION TRENCH
- X" D: DRAIN PIPELINE
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- OSMH: SEWER MANHOLE
- X" S: SEWER PIPELINE
- OC.O: SEWER SERVICE CLEANOUT
- X" W: WATER MAIN
- H: HYDRANT
- I.G.V: WATER GATE VALVE
- W.S.: WATER SERVICE CURB STOP
- M.S.: WATER SERVICE METER BOX
- G: GAS PIPELINE
- E: ELECTRIC CONDUIT
- L.P.: LIGHT POLE
- U.P.: UTILITY POLE
- G.Y.: GUY WIRE
- S.P.: TRAFFIC SIGNAL POLE
- 252: EXISTING CONTOUR
- 252: PROPOSED CONTOUR
- E.O.P.: EDGE OF PAVEMENT
- C.C.B.: INTEGRAL SLOPED BIT. BERM
- V.B.B.: VERTICAL BITUMINOUS BERM
- S.G.C.: SLOPED GRANITE CURB
- V.G.C.: VERTICAL GRANITE CURB
- V.C.C.: VERTICAL CONCRETE CURB
- E.C.S.: EDGE CONCRETE SLAB
- G.V.: GATE VALVE
- C.L.F.: CHAIN LINK FENCE
- W.S.F.: WOOD STOCKADE FENCE
- P.P.F.: PVC PICKET FENCE
- G.R.: GUARD RAIL
- C.C.: HANDICAP CURB CUT

ZONING REQUIREMENTS:

LOT AREA	REQUIRED	LOT 45
LOT FRONTAGE	43,560 S.F.	59,400 S.F.
FRONT SETBACK	150'	235.00'
SIDE SETBACK	40'	21.1'
REAR SETBACK	30'	90.3'
HEIGHT	2.5 STORIES	<2.5 STORIES
LOT COVERAGE	20%	5.4%
PERFECT SQUARE	150'x150'	YES
% IN CONSERV. DIST.	25% MAX	7.0%

UTILITY NOTES:

- DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT.
- DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL)
- SEPTIC PIPING SHALL BE SCHEDULE 40 PVC, EXCEPT FOR UNDER PARKING AREAS, WHICH SHALL BE SCHEDULE 80.
- THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE.

RIVERFRONT AREA:

- RIVERFRONT AREA:
 - TOTAL: 41,299 S.F.
 - INNER: 29,496 S.F.
 - OUTER: 11,813 S.F.
- DISTURBED RIVERFRONT AREA:
 - TOTAL: 21,164 S.F. (51% OF TOTAL RA)
 - INNER: 11,603 S.F. (39% OF TOTAL INNER RA)
 - OUTER: 9,561 S.F. (81% OF TOTAL OUTER RA)

OWNER & APPLICANT
ROBERT W. RECCHIA
16 PUTNAM LANE
GRAFTON, MA 01519

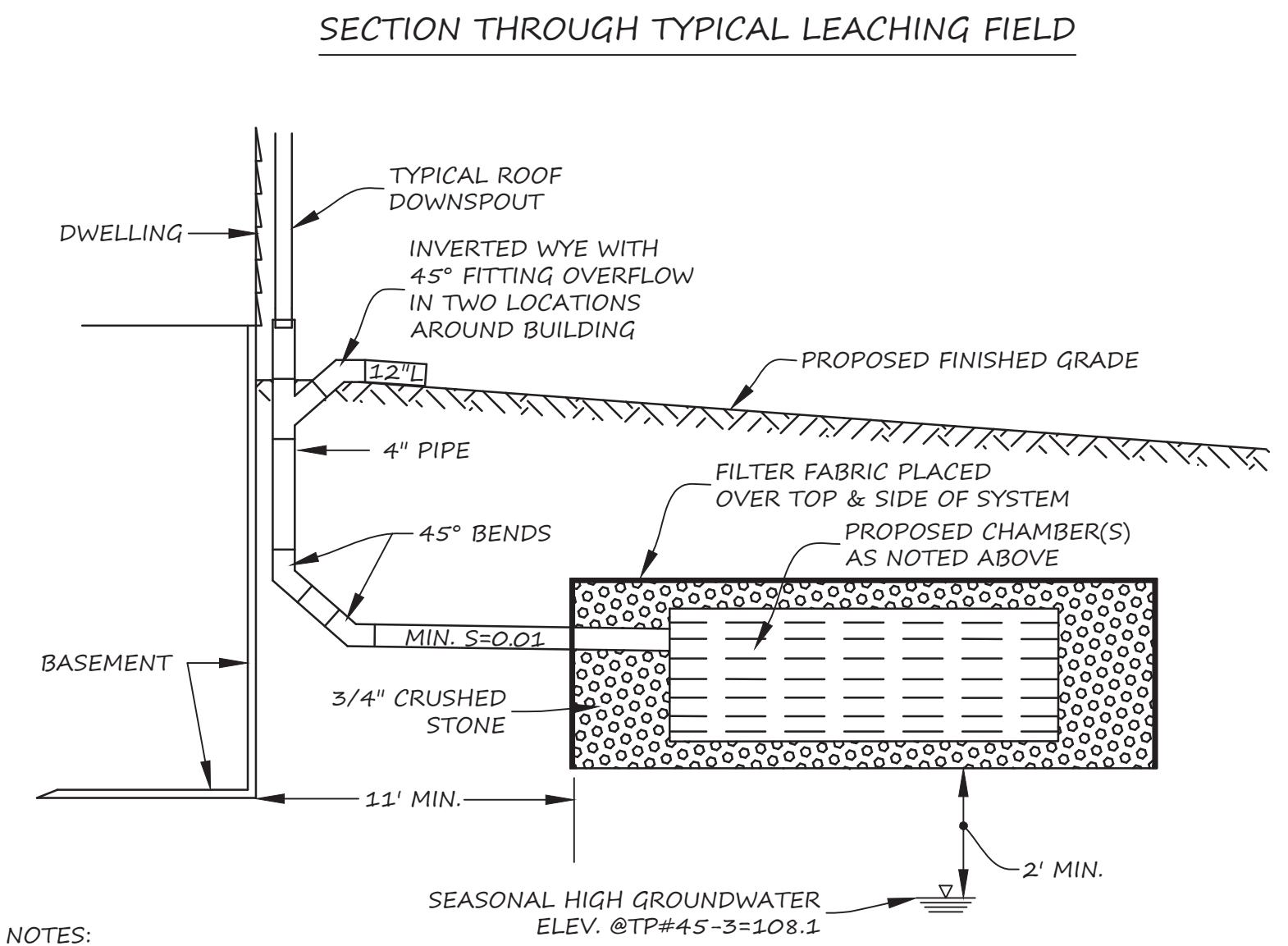
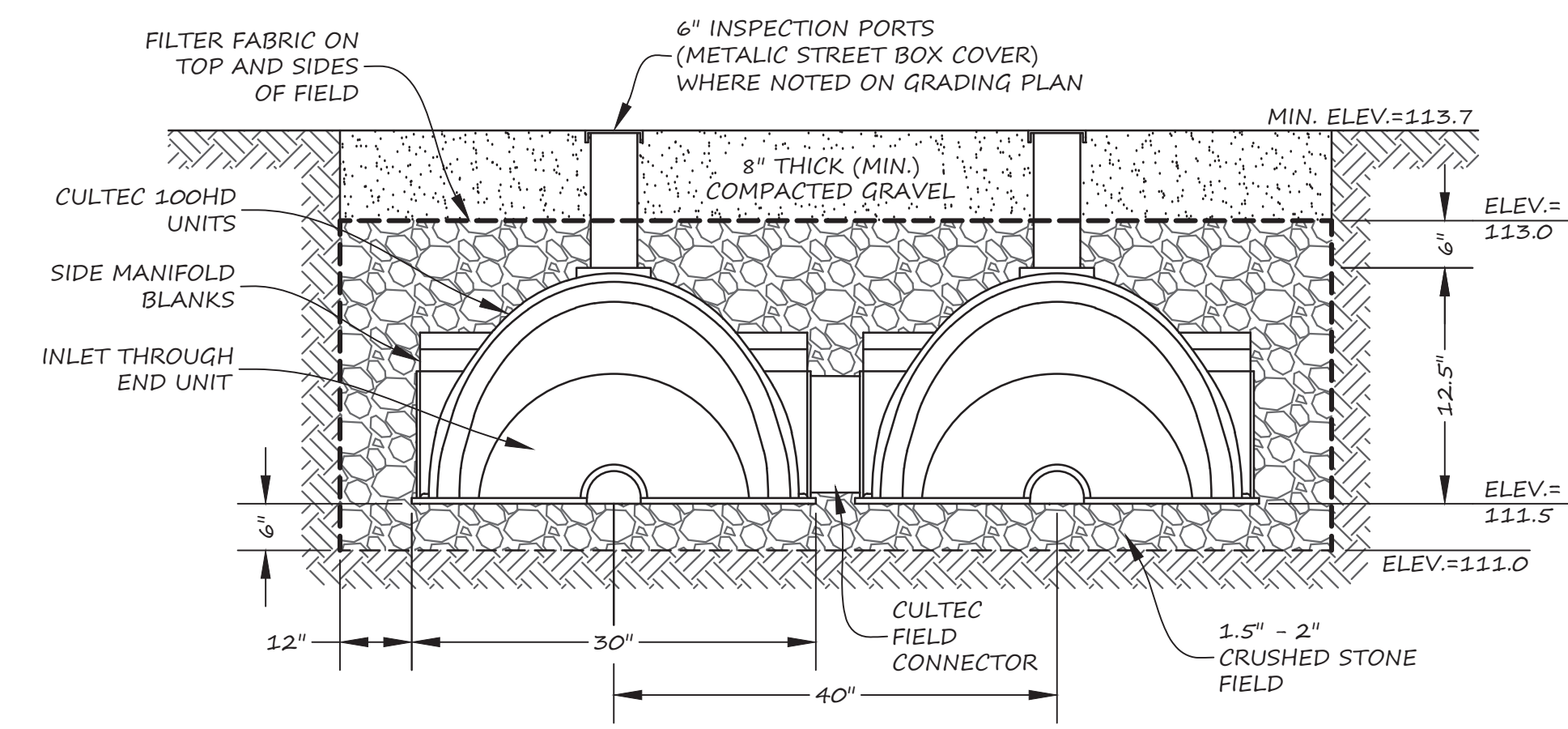
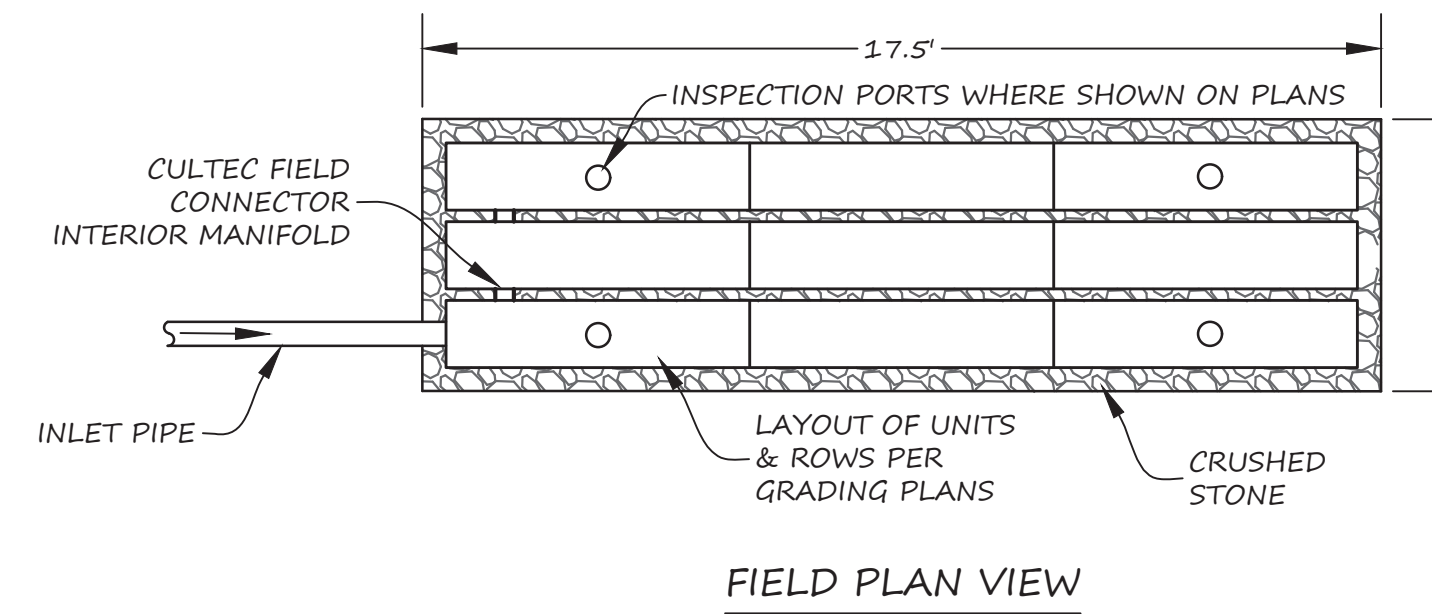
ZONING DISTRICT
R-1
ZONE II
GROUNDWATER PROTECTION
DISTRICT GW-1
CONSERVANCY DISTRICT
(PARTIALLY)

ASSESSORS PARCEL
05-011
05-012
05-023
05-078

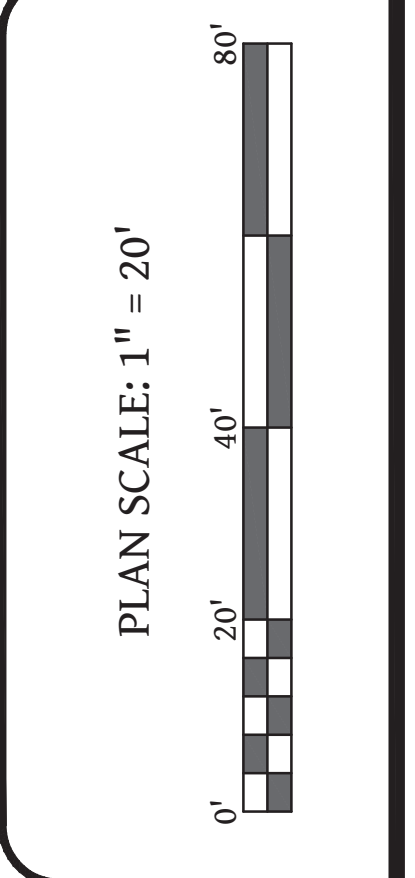
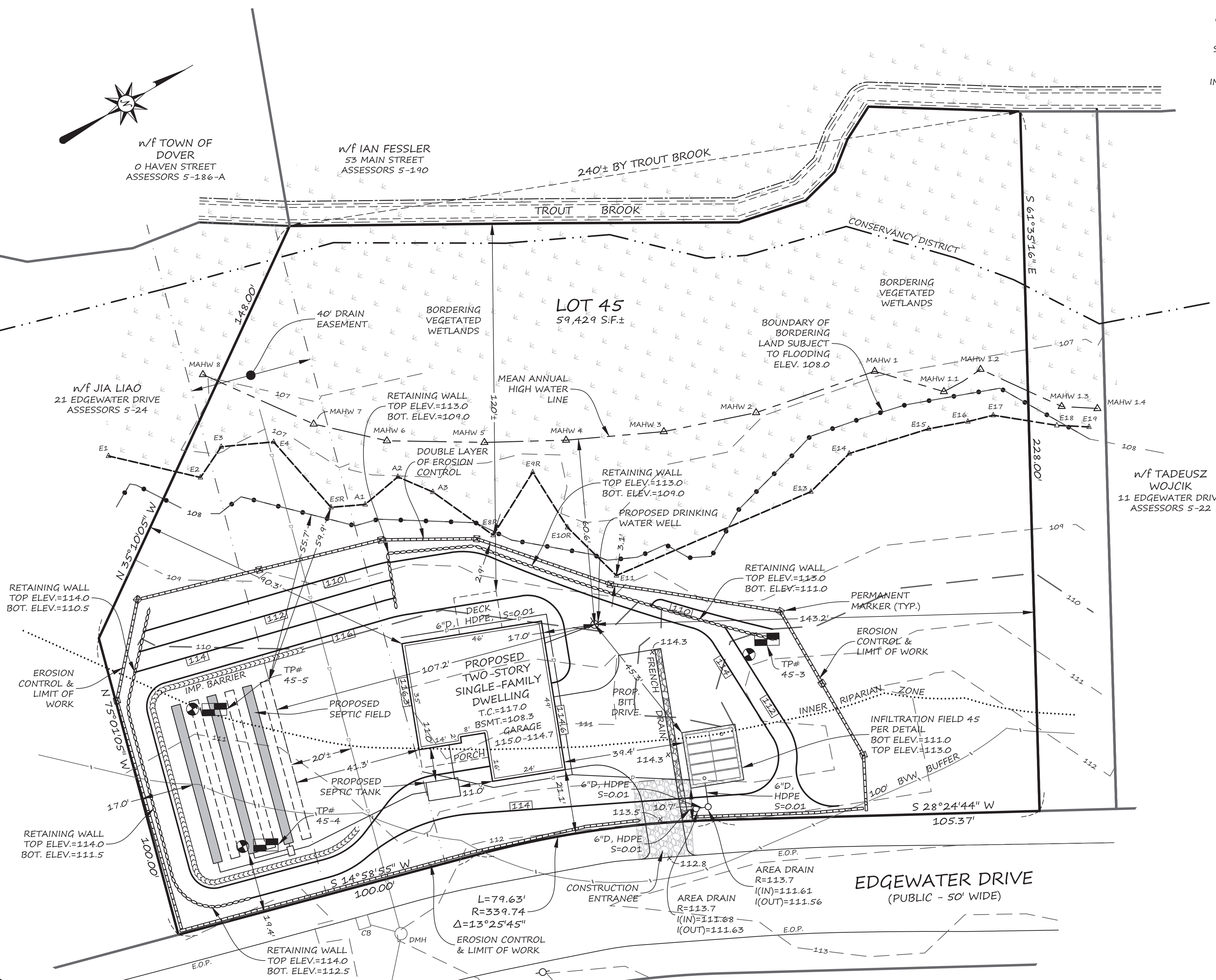
PLAN REFERENCE
LAND COURT PLAN 30520A



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2023.06.16 14:53:37 -0400



- NOTES:**
- INFILTRATION TRENCH UNITS TO BE RECHARGER 100HD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
 - INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
 - TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
 - INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
 - THE COMPLETED ROOF RUNOFF COLLECTION SYSTEM MUST COLLECT RUNOFF FROM THE ENTIRE ROOF AREA OF THE PROPOSED HOUSE. THE SYSTEM DESIGNED HAS A STORAGE CAPACITY OF 34.9 C.F.
 - PIPING FOR THE ROOF DOWNSPOUT COLLECTION SYSTEM MAY BE SCHEDULE 40 PVC OR HDPE.
 - USE OF "EQUIVALENT" SYSTEMS REQUIRE VOLUME CALCULATION VERIFICATION BY THE DESIGN ENGINEER.
 - ALL TOPSOIL, SUBSOIL, AND UNSUITABLE SOILS UNDER AND WITHIN 3 FEET OF THE SYSTEM SHALL BE REMOVED AND REPLACED WITH SEPTIC SAND MEETING DESIGN ENGINEER'S APPROVAL.

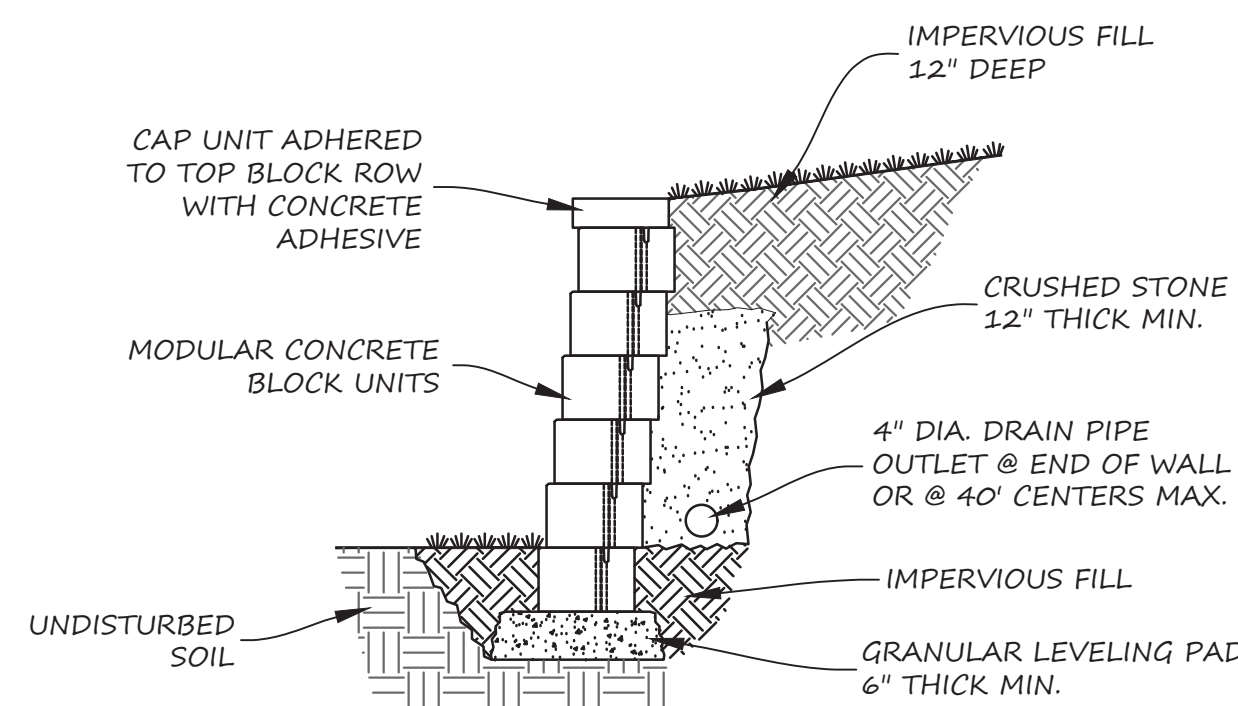


REVISION	DATE	BY

PLAN DATE: JUNE 7, 2023
 DOVER HOMES
 LOT 45
 PRELIMINARY SITE
 PLAN OF LAND IN
 DOVER, MA

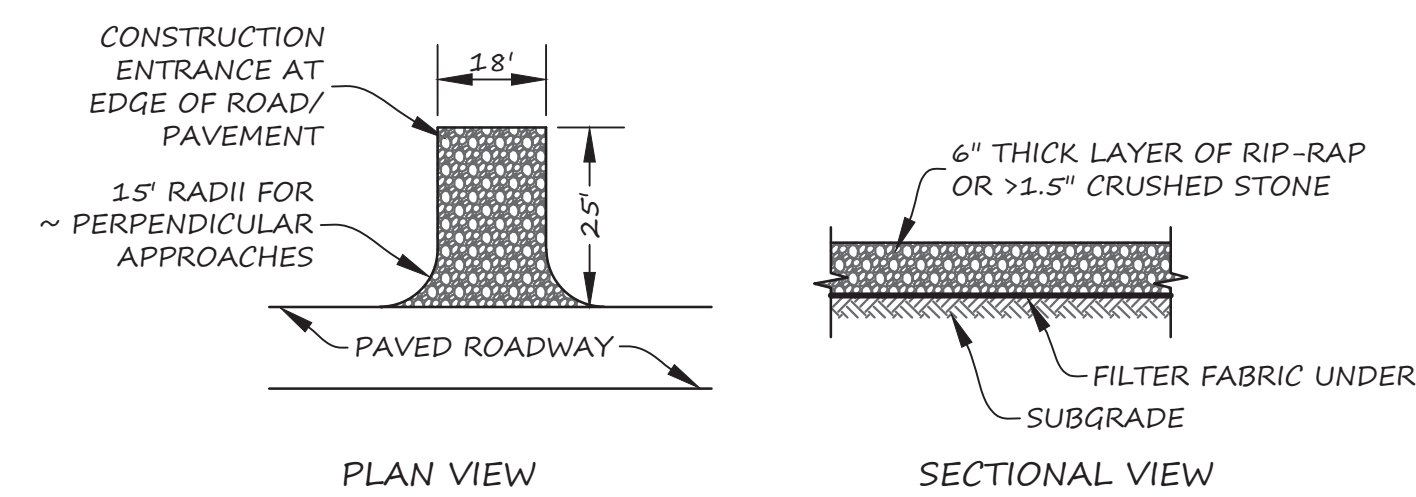
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)





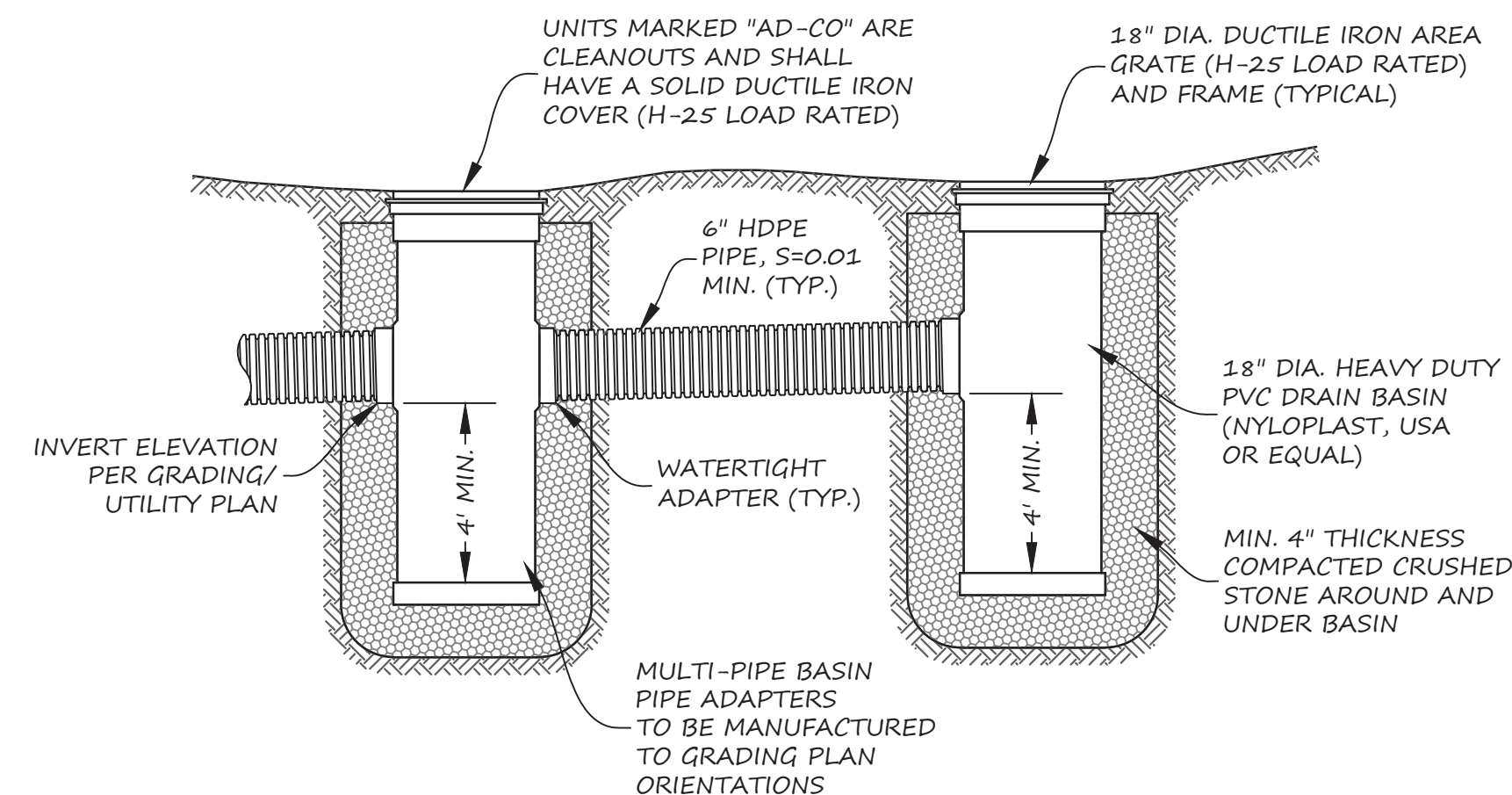
- NOTES:**
1. SMALL BLOCK UNITS SHALL BE THE SQUARE FOOT PRODUCT BY VERSA-LOK OR APPROVED EQUAL. WALL HEIGHT WITHOUT REINFORCEMENT SHALL BE LIMITED TO 3.5' EXPOSED FACE.
 2. WALL HEIGHTS OVER FOUR FEET, INCLUDING FOOTING, MAY REQUIRE A BUILDING PERMIT AND/OR STRUCTURAL DESIGN. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY BUILDING PERMITS AND FOR PROVIDING STRUCTURAL WALL DESIGN MEETING THE REQUIREMENTS OF THE MASSACHUSETTS BUILDING CODE, AS DEEMED APPLICABLE BY THE BUILDING INSPECTOR.
 3. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

TYPICAL "SMALL BLOCK" RETAINING WALL
NOT TO SCALE

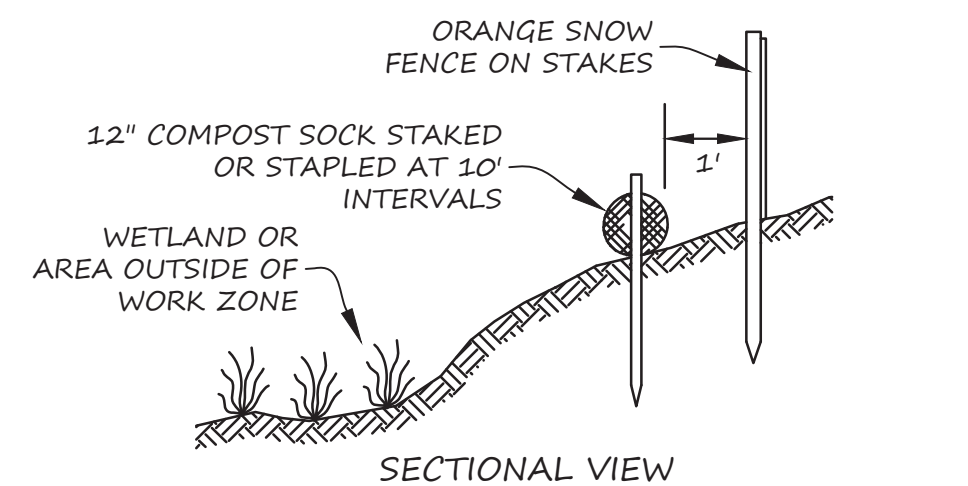


- NOTES:**
1. ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
 2. ENTRANCE SHALL BE MAINTAINED IN GOOD CONDITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

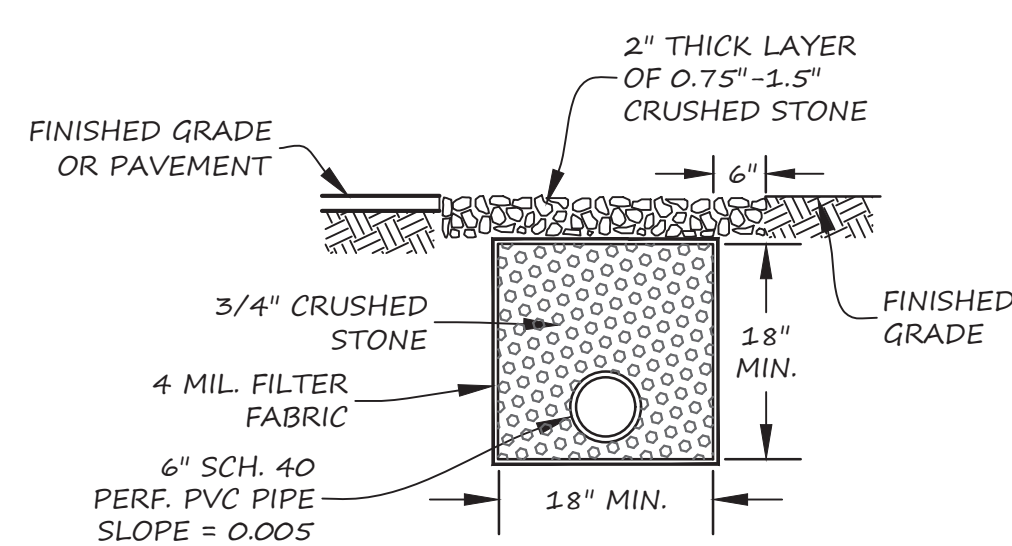


AREA DRAIN (A.D.) DETAIL
NOT TO SCALE

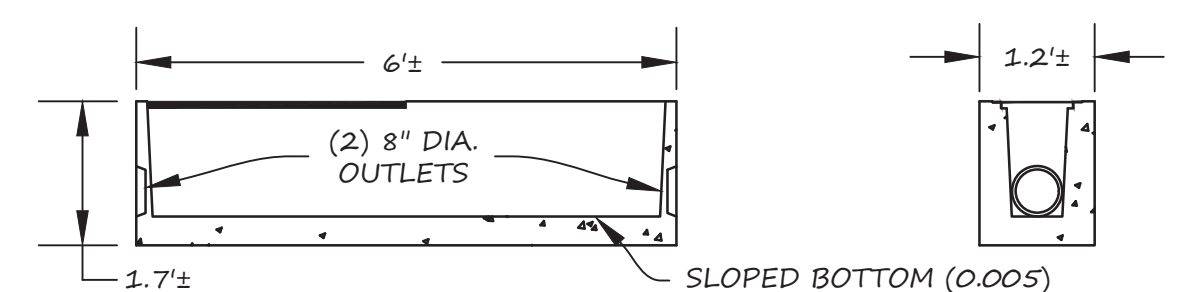
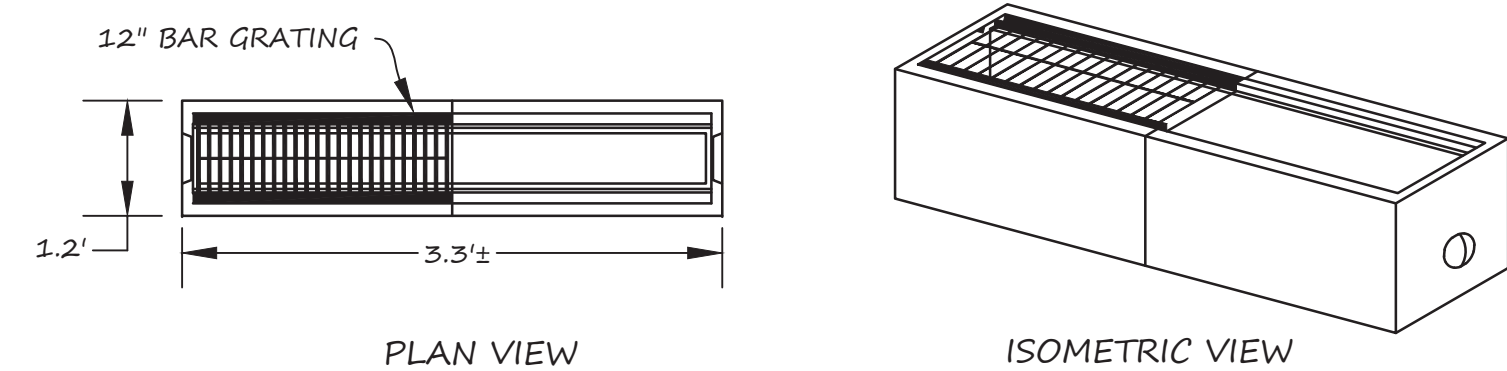


NOTE: NON-BIODEGRADABLE SOCK SHELL FILLED WITH COMPOST MEDIA. JOINTS SHALL BE OVERLAPPED BY AT LEAST TWO FEET. ORANGE SNOW FENCE IS ONLY NEEDED IF THERE IS EVIDENCE OF THE COMPOST SOCK BEING BURIED BY CONSTRUCTION ACTIVITIES.

EROSION CONTROL DETAIL (COMPOST SOCK)
NOT TO SCALE



END SECTION VIEW FRENCH DRAIN
NOT TO SCALE



- NOTES:**
1. CONCRETE SHALL BE 4,000 PSI AFTER 28 DAYS.
 2. SHALL CONFORM TO H-20 LOADINGS.
 3. SHALL BE POWER DRAIN S300K BY ACO DRAIN OR EQUAL.

TRENCH DRAIN DETAIL
NOT TO SCALE

OWNER & APPLICANT
ROBERT W. RECCHIA
16 PUTNAM LANE
GRAFTON, MA 01519

ZONING DISTRICT
R-1
ZONE II (PARTIALLY)
GROUNDWATER PROTECTION
DISTRICT QW-1

ASSESSORS PARCEL
05-011
05-012
05-023
05-078

PLAN REFERENCE
LAND COURT PLAN 30520A



Digitally signed by Daniel
J. Merrikin, P.E.
Date: 2023.06.16 14:53:22
-04'00'



PLAN SCALE: NOT TO SCALE

REVISION	DATE	BY

PLAN DATE: JUNE 7, 2023

DOVER HOMES
LOT 45
PRELIMINARY SITE
PLAN OF LAND IN
DOVER, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

